

MINUTES
BROOKSHIRE-KATY DRAINAGE DISTRICT

April 9, 2025

The Board of Supervisors of Brookshire-Katy Drainage District (the "District") met in special session, open to the public, at 9:00 a.m. on the 9th day of April, 2025, at 1111 Kenney Street, Brookshire, Texas, inside the boundaries of the District, and the roll was called of the members of the Board:

Arnold England	President
Pat Keeling	Vice President
David Welch	Secretary
Blake Beckendorff	Supervisor
John Chisum	Assistant Secretary

and all of the above were present except Supervisor Keeling, thus constituting a quorum.

Also attending the meeting were Buddy Brand, Assistant General Manager of the District; Wendy Sidwell, District Administrator; Clayton Matcek and Jack Duran of LDDBlueline Architects ("Blueline"); Andrew P. Johnson, III, and William Petrov, attorneys, of Johnson Petrov, LLP ("Johnson Petrov" or "Attorney"); Jennifer A. Fiore of Dunlap Fiore, LLC, representing Berkshire Hathaway Specialty Insurance; and Sara Corbello representative of Berkshire Hathaway Specialty Insurance and Jamie Gisevius of JS Held Construction consultant of Berkshire Hathaway Specialty Insurance.

Agenda Item No. 1
CALL TO ORDER

The President called the meeting to order.

Agenda Item No. 2
INVOCATION AND PLEDGE OF ALLEGIANCE

The meeting was opened with the Invocation and Pledge of Allegiance.

Agenda Item No. 3
PUBLIC COMMENT

There was no public comment.

Agenda Item No. 4
DISCUSS AND TAKE POSSIBLE ACTION ON PROGRESS OF NEW ADMINISTRATION BUILDING.

Mr. Johnson provided an update to the Board on the new Administration Building project. A pre-bid construction meeting is scheduled for April 10, 2025. Bid submissions

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Also attending the meeting were Buddy Brand, Assistant General Manager of the District; Wendy Sidwell, District Administrator; Clayton Matcek and Jack Duran of LDDBlueline Architects ("Blueline"); Andrew P. Johnson, III, and William Petrov, attorneys, of Johnson Petrov, LLP ("Johnson Petrov" or "Attorney"); Jennifer A. Fiore of Dunlap Fiore, LLC, representing Berkshire Hathaway Specialty Insurance; and Sara Corbello representative of Berkshire Hathaway Specialty Insurance and Jamie Gisevius of JS Held Construction consultant of Berkshire Hathaway Specialty Insurance.

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PUBLIC COMMENT

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Agenda Item No. 4
DISCUSS AND TAKE POSSIBLE ACTION ON PROGRESS OF NEW ADMINISTRATION BUILDING.

Mr. Johnson provided an update to the Board on the new Administration Building project. A pre-bid construction meeting is scheduled for April 10, 2025. Bid submissions are due by April 30, 2025, with the contract award anticipated on May 9, 2025.

Initially, eight companies expressed interest in the project; two have since withdrawn, leaving six bidders under consideration. Of 26 potential subcontractors, approximately 18 have signed up to complete project and will be presented to the completion contractor. The process involves securing commitments and pricing from subcontractors, effectively binding them to the project and the Surety. Once a contractor is selected, mobilization is expected to take about one month, with project completion estimated at five to six months thereafter. The contractor's ability to begin work promptly will be a factor in the selection process.

The Surety may proceed with either a tender or a takeover agreement. Under a tender agreement, the Surety formalizes the contract with a new contractor and then withdraws from direct involvement, typically providing payment for any cost difference. In a takeover agreement, the Surety remains actively involved in project completion. In both scenarios, the Surety is responsible for covering cost differentials and other expenses incurred, i.e. legal and architectural costs due to CCM, Inc. defaulting on their contract.

The Board discussed warranty coverage for previously completed work, determining that the new contractor will assume warranty obligations. Any additional expenses will be addressed with the Surety.

The Board also reviewed a pending Authorization to Transfer Agreement. It was reported that the HVAC system has been prepaid, and Ms. Gisevius confirmed ratification of the HVAC contract. Mr. Brand will conduct a materials inventory. Questions were raised regarding the status of the builder's risk insurance policy and whether adjustments are necessary. It was noted that a third-party inspector has been engaged by the District.

The Board agreed to send a follow-up email to address outstanding expenses, the tentative project schedule, a list of potential bidders, and a draft tender agreement.

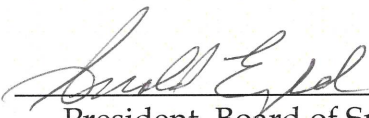
Mr. Duran expressed his preference for proceeding with the Tender option in this situation.

ADJOURNMENT

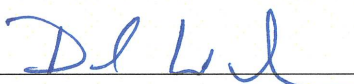
With no additional matters to discuss, upon motion by Supervisor Welch, seconded by Supervisor Chisum, and with all Supervisors voting aye, the Board adjourned the meeting at 10:32 a.m.

[EXECUTION PAGE FOLLOWS]

SIGNED this 12th day of May 2025.


President, Board of Supervisors

ATTEST:


Secretary, Board of Supervisors



MINUTES
BROOKSHIRE-KATY DRAINAGE DISTRICT

April 14, 2025

The Board of Supervisors of Brookshire-Katy Drainage District (the "District") met in regular session, open to the public, at 7:00 p.m. on the 14th day of April, 2025, at 1111 Kenney Street, Brookshire, Texas, inside the boundaries of the District, and the roll was called of the members of the Board:

Arnold England	President
Pat Keeling	Vice President
David Welch	Secretary
Blake Beckendorff	Supervisor
John Chisum	Assistant Secretary

and all of the above were present except Supervisor Beckendorff, thus constituting a quorum.

Also attending the meeting were Buddy Brand, Assistant General Manager of the District; Wendy Sidwell, District Administrator; Michael McCarthy, P.E., Steve Berckenhoff, P.E., and Rod Pinheiro, P.E. of Quiddity Engineering ("Quiddity" or "Engineer"); Andrew P. Johnson, III, and William Petrov, attorneys, and Mirna Croon, paralegal, of Johnson Petrov, LLP ("Johnson Petrov" or "Attorney"); and Paul Cater and Todd Fogelsong of August Lakes subdivision.

Agenda Item No. 1
CALL TO ORDER

The President called the meeting to order.

Agenda Item No. 2
INVOCATION AND PLEDGE OF ALLEGIANCE

The meeting was opened with the Invocation and Pledge of Allegiance.

Agenda Item No. 3
PUBLIC COMMENT

There was no public comment.

Agenda Item No. 4
MINUTES OF MARCH 10, 2025, REGULAR SESSION AND MARCH 24, 2025 SPECIAL MEETING MINUTES

Upon motion by Supervisor Welch, seconded by Supervisor Chisum, after full discussion and with all Supervisors present voting aye, the Board approved the minutes of the March 10, 2025 Regular Board meeting, and March 24, 2025 Special Board meeting.

Agenda Item No. 5
BROOKSHIRE-KATY DRAINAGE DISTRICT'S EASEMENTS LOCATED NEAR PITTS ROAD AND MORTON ROAD;

Mr. Cater and Mr. Fogelsong requested the Board consider releasing a drainage easement between the District and both August Lakes and Lakes of Katy subdivisions. The Homeowners' Association intends to construct a berm followed by a levee matching the height of the surrounding development. This proposal aims to address concerns from subdivision residents who nearly experienced flooding during Hurricane Harvey.

Mr. McCarthy clarified that the HOA would need to obtain a permit for the berm construction, which would require an engineering study to assess volume displacement. An engineer would need to verify that the berm would not negatively impact the surrounding area. No action was taken.

[Mr. Cater and Mr. Fogelsong departed the meeting.]

Agenda Item No. 6

ENGINEER'S REPORT

- a) Permit Application for Drainage Study Analysis for 76.7 Acre Brookshire Tract - DIA, ID: 00432.

Upon motion by Supervisor Welch, seconded by Supervisor Keeling, after full discussion and with all Supervisors present voting aye, the Board approved Permit Application ID: 00432, as recommended by Quiddity in the letter attached hereto as Exhibit "A".

- b) Permit Application for Tract Development Without Platting for Dewberry Hills Lift Station and 8-inch Force Main, ID: 00806; Permit No. 2024-43 REVISED.

Upon motion by Supervisor Chisum, seconded by Supervisor Keeling, after full discussion and with all Supervisors present voting aye, the Board approved Permit Application No. 2024-43 REVISED, as recommended by Quiddity in the letter attached hereto as Exhibit "A-1".

- c) Permit Application for Tract Development Without Platting for Water Supply Plant No. 1 - Phase 1 to Serve Waller County MUD No. 43; ID: 00749, Permit No. 2024-171.

Upon motion by Supervisor Chisum, seconded by Supervisor Welch, after full discussion and with all Supervisors present voting aye, the Board approved Permit Application for Permit No. 2024-171, as recommended by Quiddity in the letter attached hereto as Exhibit "A-2".

- d) Permit Application for Tract Development Without Platting for Lakes of Cane Island Water Line and Force Main; ID: 00730, Permit No. 2024-165.

Mr. McCarthy reviewed a recommendation letter for the above-referenced Permit Application, a copy of which is attached hereto as Exhibit "A-3".

- e) Permit Application for Tract Development Without Platting for Lakes of Cane Island Offsite Utilities; ID: 00731, Permit No. 2024-166.

Upon motion by Supervisor Welch, seconded by Supervisor Chisum, after full discussion and with all Supervisors present voting aye, the Board approved (i) Permit Application for Permit No. 2024-165, as recommended by Quiddity; and (ii) Permit Application for Permit No. 2024-166 as recommended by Quiddity in the Letter attached hereto as Exhibit "A-4".

- f) Permit Application for Tract Development Without Platting for Uplands Twinwood Distribution Center Parking Expansion; ID: 00317, Permit No. 2024-77REVISED.

Upon motion by Supervisor Welch, seconded by Supervisor Keeling, after full discussion and with all Supervisors present voting aye, the Board approved Permit Application for Permit No. 2024-77REVISED, as recommended by Quiddity in the Letter attached hereto as Exhibit "A-5".

- g) Permit Application for Tract Development With Platting for Sunterra Section 56 Amending Plat No. 1 - Final Plat ID: 00907; Permit No. 2024-02REVISED.

Upon motion by Supervisor Chisum, seconded by Supervisor Keeling, after full

discussion and with all Supervisors present voting aye, the Board approved Permit Application No. 2024-02REVISED, as recommended by Quiddity in the Letter attached hereto as Exhibit "A-6".

- h) Permit Application for Tract Development With Platting for TMEIC Twinwood - Final Drainage Plans (ID: 00774) and Final Plat (ID: 00843), Permit No. 2025-01.

Upon motion by Supervisor Welch, seconded by Supervisor Chisum, after full discussion and with all Supervisors present voting aye, the Board approved Permit Application No. 2025-01, as recommended by Quiddity in the Letter attached hereto as Exhibit "A-7".

- i) Permit Application for Tract Development With Platting for Lakes of Cane Island Section 6 - Preliminary Plat ID: 00888.

Mr. McCarthy reviewed a recommendation letter for the above-referenced Permit Application, a copy of which is attached hereto as Exhibit "A-8".

- j) Permit Application for Tract Development With Platting for Lakes of Cane Island Section 7 - Preliminary Plat ID: 00891.

Mr. McCarthy reviewed a recommendation letter for the above-referenced Permit Application, a copy of which is attached hereto as Exhibit "A-9"

Upon motion by Supervisor Welch, seconded by Supervisor Chisum, after full discussion and with all Supervisors present voting aye, the Board approved Permit Application for Permit ID Nos. 00888 and 00891, as recommended by Quiddity.

- k) Update on Sunterra Lakes Development.

There was no update.

- l) Update on Grange Development.

There was no update.

Agenda Item No. 7

GENERAL MANAGER'S REPORT

A. General Manager's Report.

Mr. Brand presented the General Manager's Report to the Board, a copy of which is attached hereto as Exhibit "B".

B. Inspector's Report and Enforcement Action Updates.

Mr. Brand reviewed the Inspection Report, a copy of which is attached to the General Manager's Report.

C. Update on New Administration Building and Ratification of Services Agreement with Alert 360.

Upon motion by Supervisor Chisum, seconded by Supervisor Welch, after full discussion and with all Supervisors present voting aye, the Board ratified its approval of the Service Agreement with Alert 360 at a cost of \$1,600 per month and authorized District Administrator Wendy Sidwell to sign.

Mr. Petrov reported that the District has delivered a Notice of Default to Berkshire Hathaway regarding the District's agreement with Commercial Construction and

Maintenance ("CCM") for the new Administration Building. The District has terminated the contract with CCM and filed a claim against CCM's Performance Bond. On April 9, 2025, the District met with Berkshire Hathaway (the "Surety"), who indicated that bids for the new Administration Building are due April 30, 2025. The Surety plans to issue a Notice of Intent to Award the Contract by May 9, 2025, with construction expected to resume June 6, 2025 by a completion contractor chosen by the Surety. The Surety will be responsible for covering costs exceeding the remaining balance on the District's contract with CCM as well as any costs incurred for additional legal and architectural services due to CCM's default. Initial assessments suggest approximately 50 percent of the project remains incomplete.

Agenda Item No. 8

FINANCIAL REPORT

- A. Discuss and take action to pay bills. Ms. Sidwell presented to and reviewed with the Board the March 2025 bills.
- B. Pay Remaining Balance on Caterpillar Financial Contract# 001-70149352 CAT 920 Wheel Loader. Ms. Sidwell recommended payment to Caterpillar in the amount of \$152,230.92 for the remaining balance due for the purchase of CAT 920 Wheel Loader.
- C. March 2025 Financial Report. She presented the Financial Report, a copy of which is attached hereto as Exhibit "C".

Upon motion by Supervisor Welch, seconded by Supervisor Keeling, after full discussion and with all Supervisors present voting aye, the Board approved (i) paying the February 2025 bills including payment to Caterpillar in the amount of \$152,230.92 for the remaining balance due for the purchase of CAT 920 Wheel Loader; and (ii) the Financial Report.

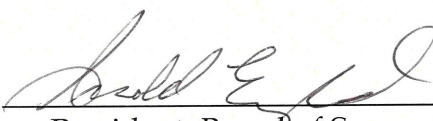
- D. Quarterly Financial Advisor's report. Upon motion by Supervisor Chisum, seconded by Supervisor Keeling, after full discussion and with all Supervisors present voting aye, the Board approved the Financial Advisor's Report, a copy of which is attached to the Financial Report.
- E. Update on the Budget for Fiscal Year Ending September 30, 2025. Ms. Sidwell reviewed the Budget for Fiscal Year Ending September 30, 2025, a copy of which is attached to the Financial Report.

ADJOURNMENT

With no additional matters to discuss, upon motion by Supervisor Keeling, seconded by Supervisor Chisum, and with all Supervisors voting aye, the Board adjourned the meeting at 8:32 p.m.

[EXECUTION PAGE FOLLOWS]

SIGNED this 12th day of May 2025.



President, Board of Supervisors

ATTEST:



Secretary, Board of Supervisors



Exhibit	Description
Exhibit "A"	Recommendation letter for Permit Application ID: 00432
Exhibit "A-1"	Recommendation letter for Permit Application No. 2024-43 REVISED
Exhibit "A-2"	Recommendation letter for Permit Application No. 2024-171
Exhibit "A-3"	Recommendation letter for Permit Application No. 2024-165
Exhibit "A-4"	Recommendation letter for Permit Application No. 2024-166
Exhibit "A-5"	Recommendation letter for Permit Application No. 2024-77 REVISED
Exhibit "A-6"	Recommendation letter for Permit Application No. 2024-02 REVISED
Exhibit "A-7"	Recommendation letter for Permit Application No. 2025-01
Exhibit "A-8"	Recommendation letter for Permit Application ID: 00888
Exhibit "A-9"	Recommendation letter for Permit Application ID: 00891
Exhibit "B"	General Manager's Report (includes Inspection Report)
Exhibit "C"	Financial Report

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www.quiddity.com

April 10, 2025

Mr. Arnold England, President
Brookshire-Katy Drainage District
PO Box 608
Brookshire, Texas 77423

Reference: 76.7 Acre Brookshire Tract – Drainage Impact Assessment
Waller County, Texas
Application ID No. 00432
Quiddity Job No. R0002-1004-05.003

Dear Mr. England:

The referenced 76.7 Acre Brookshire Tract (Development) Drainage Impact Assessment (Report) has been reviewed pursuant to the Brookshire-Katy Drainage District's (District) Rules and Regulations (R&R). A copy of the Report is attached for further information.

This review aims to verify whether the Development's proposed drainage and detention facilities as analyzed within the Report generally comply with the District's R&R and criteria. This review addresses issues regarding hydraulic and hydrologic drainage design criteria only. The subsequent plats and drainage plans for the proposed Development must be submitted to the District for review and approval. Additionally, the Report certifies that no adverse impacts will take place within the receiving waterways, adjacent properties, or downstream facilities in accordance with the District's R&R.

Technical Review & Findings:

The Development includes approximately 36 acres for proposed industrial land use along with 40.7 acres of offsite area for future industrial land use. The 76.7 acres were previously included in the drainage impact assessment titled "333-Acre Brookshire Tract" and approved by the District on March 25, 2020. This Report analyzes the impacts with the District's current criteria including Atlas 14 rainfall criteria for the entire 76.7 acres assuming fully developed conditions for industrial land use. The Development is located south of US-90, north of I-10, west of Brookshire Creek, and east of Waller Ave.

The 76.7 acres are subdivided into four tracts (20.5 ac., 21.0 ac., 22.9 ac., and 12.3 ac.). The 12.3 ac tract will be allocated for a future TxDOT detention facility (10.2 ac.) and proposed 60-ft of ROW (2.1 ac.).

The existing drainage condition for the Development is undeveloped with flow directed to the east towards Brookshire Creek. There is offsite sheet flow that enters the tract from the north and northwest, and is captured by an existing 20-ft wide and 5-ft deep roadside ditch along the north side of South Street. The South Street ditch conveys flow through the residential subdivision which connects to an existing storm sewer through the subdivision, and eventually into Brookshire Creek. Offsite sheet flow from the west will be intercepted by a proposed 27-ft wide and 3-ft deep swale along the western boundary of the Development. The proposed swale will route the offsite flow to an existing ditch along I-10 at the southern boundary of the Development.



Mr. Arnold England, President

April 10, 2025

Page 2

Approximately 17.4 acres within the Development are located within the 500-yr floodplain, as shown on FIRM panel 48473C0350E, so floodplain mitigation will be required and is included in the Report.

The Development includes one proposed dry bottom detention pond referred to as the West Pond within the Report. The 100-yr detention storage volume in the West Pond is 51.02 ac-ft and the detention storage rate is 0.77 ac-ft/ac. The West Pond will include a 30-ft wide maintenance berm on the west and south sides and a 20-ft maintenance berm on the north and east sides. The 20-ft maintenance berm could be utilized as a shared maintenance berm with the District pending approval of the Detention Facilities Maintenance Agreement. The West Pond includes 3.5:1 side slopes, 2.24-ft of freeboard, 36-inch RCP outfall into Brookshire Creek, an emergency overflow spillway, and a top of bank of 155.0 ft. The Development proposes a floodplain fill volume of approximately 5.88 ac-ft and corresponding floodplain fill mitigation volume of 6.35 ac-ft which is accounted for within the freeboard within the West Pond. The subsequent final drainage plans for the Development will include an extreme event spillway directed into the West Pond that will be sized to convey the peak 100-yr flow.

The three industrial tracts (64.4 ac.) will drain into the proposed West Pond. Due to expanded drainage area and Atlas 14 criteria, the required detention storage volume is greater than previously calculated in the 2020 drainage impact assessment. The 60-ft ROW to be dedicated to TxDOT will outfall directly into Brookshire Creek via a proposed 18-inch RCP.

Conclusion:

Based on our review of the Report, the Development does not show any adverse impacts as a result of the proposed Development. Table 7 from the Report indicates the proposed 2-, 10-, and 100-year discharge flow rates into Brookshire Creek are lower in the proposed condition when compared to those under the existing conditions.

The permit applications for the subsequent drainage plans must include a certification from a professional engineer licensed to practice in the state of Texas that the future developments will cause no adverse impact to the receiving drainage and detention facilities, including downstream facilities, in full compliance with this Report.

At this time, no variance requests from the District's R&R have been requested or granted. We offer no objections to this 76.7 Acre Brookshire Tract – Drainage Impact Assessment and recommend the District accept this Report.

Please note that this recommendation does not necessarily mean that the proposed design and all the calculations provided in the accompanying documentation have been completely checked and verified. Omissions in this review do not relieve the Development from complying with the District's R&R or any other regulatory requirements from a different entity having jurisdiction. Moreover, the submitted Report has been prepared, dated, signed, and sealed by a Professional Engineer licensed to practice in the State of Texas, conveying their professional responsibilities and accountability.



Mr. Arnold England, President
 April 10, 2025
 Page 3

For the Applicant

- DFMA - The property owner will be required to coordinate with the District's legal counsel and execute a Detention Facilities Maintenance Agreement (DFMA) for this Development before the District approves the final drainage and detention plans for the Development. The Board will consider approval of the DFMA once recommended by the District's legal counsel.
- The applicant shall not use this letter to commence any construction activities prior to receiving all approved permits from the governing entities with jurisdiction.

Please do not hesitate to call if you have any questions or need additional information.

Sincerely,

Michael H. McCarthy, PE

MHM/dme

https://jonesandcarter.sharepoint.com/sites/BKDDTeamSite/Shared Documents/BKDD All Permits/R0002-1004-05.003 76.7 Acre Brookshire Tract_Update of 333 Acre Brookshire Tract/2.0 - Letters/DIA Approval Ltr 76.7 Acre Brookshire Tract - 040925.docx

Enclosures

cc: Mr. Vincent Giammalva – Giammalva Properties, Inc. via email vagiammalva@comcast.net
 Mr. Kyle Adams, PE – BGE, Inc. via email kadams@bgeinc.com
 Mr. Nick Bailey, PE – BGE, Inc. via email nbailey@bgeinc.com
 Mr. Jong Seong, PE – BGE, Inc. via email jseong@bgeinc.com
 Mr. Ross McCall, PE – Waller County Engineer via email engineering@wallercounty.us
 Mr. Andrew Johnson, III – Johnson Petrov, LLP via email bkddlegal@johnsonpetrov.com



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April 10, 2025

Mr. Arnold England, President
Brookshire-Katy Drainage District
PO Box 608
Brookshire, Texas 77423

Reference: LGI Homes - Texas, LP
Dewberry Hills Lift Station and 8-inch Force Main – **Final Drainage Plans Revision**
Application ID 00806
Permit No. 2024-43 REVISED
Quiddity Job No. R0002-1003-68.003

Dear Mr. England:

The Brookshire-Katy Drainage District (District) received a permit application as follows:

Applicant: Pape-Dawson Engineers, Inc.

Permit Type: Tract Development w/o Platting – Final Drainage Plans Revision

Location: East of FM 362, south of FM 529, and west of FM 2855

Survey: H. & T. C. R. R. Co. Section 67, Abstract 151, Waller County, Texas

Previous Approvals: The Board approved the Dewberry Hills Lift Station and 8-inch Force Main Final Drainage Plans on September 23, 2024 under Permit No. 2024-43.

Revision: The proposed plan revisions include upsizing the proposed Lift Station and extending the proposed 8-inch force main to the east along FM 529, then north to the adjacent future BKDD easement up to the future WWTP to serve the Dewberry Hills development.

Description: The Dewberry Hills Lift Station and 8-inch Force Main (Development) encompasses approximately 0.276 acres and lies within Waller County Municipal Utility District No. 56 (WCMUD 56).

The Development includes the construction of a wastewater lift station and force main to serve future Dewberry Hills single family residential development. The runoff from the site is collected by the proposed storm sewer along the future Barnyard Hills Drive, which is included within the future Dewberry Hills Section 2. The Dewberry Hills Section 2 storm sewer is included in the plans titled "Water, Sanitary Sewer, Drainage, and Paving Facilities for Dewberry Hills Sec 2" approved by the District on September 23, 2024 under Permit No. 2024-99. The Dewberry Hills Section 2 storm sewer will then outfall into Detention Pond 1, which outfalls into Detention Pond 2, which then outfalls into the



Mr. Arnold England, President
April 10, 2025
Page 2

District's 160-ft wide drainage easement located along the eastern boundary of the Dewberry Hills development. The flow from the District's easement will eventually discharge into Willow Fork of Buffalo Bayou further downstream. Detention Ponds 1 and 2, and improvements to the District's drainage channel were included in the plans titled "Drainage Facilities for Dewberry Hills Drainage Channel & Detention Basins" that was approved on January 29, 2024 under Permit No. 2023-29.

Technical Review:

Based on our review of the revised final drainage plans (plans), the permit application generally complies with the District's Rules and Regulations (R&R); we interpose no objection and recommend its approval by the District's Board of Supervisors.

Please note that this recommendation does not necessarily mean that the proposed design and all the calculations provided in the accompanying documentation have been completely checked and verified. Omissions in this review do not relieve the Development from complying with the District's R&R or any other regulatory requirements from a different entity having jurisdiction. Moreover, the plans submitted have been prepared, dated, signed, and sealed by a Professional Engineer. They are licensed to practice in the State of Texas, which therefore conveys these professional responsibilities and accountability.

At this time, no deviation or variance requests from the District's R&R have been requested or granted. The proposed Development shall be constructed per the District's approved plans and in conformance with the District's R&R.

For the Applicant:

Please be advised that in an effort to comply with the District's policy to maintain zero net increase in stormwater runoff rates and to ensure that no adverse impacts are attributable to the proposed Development, all detention facilities (i.e., drainage infrastructure and outfall(s)) must be constructed and functional before beginning construction of any impervious improvements.

The District requires the engineer, project owner, and contractor to implement temporary drainage measures during construction to prevent any negative impacts. These measures are crucial to managing stormwater and maintaining site stability throughout construction.

Please note: at least two business days prior to starting construction of the Detention Facilities and Drainage Infrastructure, the Developer's contractor shall notify the District's General Manager in writing. The Pre-Construction Notification form can be found on the District's website under Permit Application and Engineering Documents (<https://www.bkdd.dst.tx.us/page/BKDD.Home>).



Mr. Arnold England, President

April 10, 2025

Page 3

The Applicant shall not use this letter to commence any construction activities prior to receiving the **approved permits** from all applicable governing entities with jurisdiction.

Please do not hesitate to call if you have any questions or need additional information.

Sincerely,

Michael H. McCarthy, PE

MHM/dme

https://jonesandcarter.sharepoint.com/sites/BKDDTeamSite/Shared Documents/BKDD All Permits/R0002-1003-68.003 Dewberry Hills Lift Station & 8-inch Force Main/2.0 - LETTERS/REVISED Dewberry Hills LS & 8-in FM Final Drg Plans Approval Ltr_041025.docx

cc: Mr. L. Hopper – LGI Homes - Texas LLC lhopper@lgihomes.com
Mr. Jordan Konesheck, PE – Pape-Dawson Engineers, Inc. via email jkonesheck@pape-dawson.com
Mr. Dadi Hamel – Pape-Dawson Engineers via email dhamel@pape-dawson.com
Mr. Ross McCall, PE – Waller County Engineer via email engineering@wallercounty.us
Mr. Andrew Johnson, III – Johnson Petrov, LLP via email bkddlegal@johnsonpetrov.com



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April 11, 2025

Mr. Arnold England, President
Brookshire-Katy Drainage District
PO Box 608
Brookshire, Texas 77423

Reference: Maple Development Group LLC
Water Supply Plant No. 1 - Phase 1 to serve Waller County MUD No. 43
– **Final Drainage Plans**
Application ID No. 00749
BKDD Permit No. 2024-171
Quiddity, Inc. Job No. R0002-1020-01.072

Dear Mr. England:

The Brookshire-Katy Drainage District (District) received a permit application as follows:

Applicant: LIA Engineering

Permit Type: Tract Development without Platting – Final Drainage Plans

Location: North of Morton Road, south of Prairie Grass Lane, and east of Prairie Grass Road

Description: The Azalea Water Supply Plant No. 1 – Phase 1 (Development) encompasses approximately 1.756 acres and lies within the Azalea Phase 1.

The Development includes construction of the first phase of Water Plant No. 1 that will serve future Azalea single family residential development. The runoff from the site is collected by the proposed storm sewer along the future Cherrybark Drive, which is included within Azalea Section 1, BKDD permit number 2024-46, and approved by the District on August 12, 2024. The Azalea Section 1 storm sewer will then outfall into Detention Pond C which will then outfall into the northern ditch along Morton Road. Detention Pond C was included in the construction plans titled, "Phase 1 Detention Plan to serve Maple Grove" that was approved by the District under Permit No. 2024-25 on May 13, 2024. Additionally, the drainage impact assessment (DIA) encompassing the Development was included in the Maple Grove Phase 1 DIA which was reviewed and accepted by the District on February 12, 2024. The drainage and detention components outlined in the plans for the Development are designed in accordance with the Maple Grove Phase 1 DIA.



Mr. Arnold England, President
April 11, 2025
Page 2

DFMA: Detention Pond C is included in a fully executed and recorded Detention Facilities Maintenance Agreement (DFMA) with the District.

Technical Review: Based on our review of the final drainage plans (plans), the permit application generally complies with the District's Rules and Regulations (R&R); we interpose no objection and recommend its approval by the District's Board of Supervisors.

Please note that this recommendation does not necessarily mean that the proposed design and all the calculations provided in the accompanying documentation have been completely checked and verified. Omissions in this review do not relieve the Development from complying with the District's R&R or any other regulatory requirements from a different entity having jurisdiction. Moreover, the plans submitted have been prepared, dated, signed, and sealed by a Professional Engineer. They are licensed to practice in the State of Texas, conveying these professional responsibilities and accountability.

At this time, no deviation or variance requests from the District's R&R have been requested or granted. The proposed Development shall be constructed per the District's approved plans and in conformance with the District's R&R.

For the Applicant: Please be advised that in an effort to comply with the District's policy to maintain zero net increase in stormwater runoff rates and to ensure that no adverse impacts are attributable to the proposed Development, all detention facilities (i.e., drainage infrastructure and outfall(s)) must be constructed and functional before beginning construction of any impervious improvements.

The District requires the engineer, project owner, and contractor to implement temporary drainage measures during construction to prevent any negative impacts. These measures are crucial to managing stormwater and maintaining site stability throughout construction.

Please note: at least two business days prior to starting construction of the Detention Facilities and Drainage Infrastructure, the Developer's contractor shall notify the District's General Manager in writing. The Pre-Construction Notification form can be found on the District's website under Permit Application and Engineering Documents (<https://www.bkdd.dst.tx.us/page/BKDD.Home>).



Mr. Arnold England, President
April 11, 2025
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The Applicant shall not use this letter to commence any construction activities prior to receiving the **approved permits** from all applicable governing entities with jurisdiction.

Please do not hesitate to call if you have any questions or need additional information.

Sincerely,

A handwritten signature in blue ink, appearing to read "Michael McCarthy", with a long horizontal flourish extending to the right.

Michael McCarthy, PE

MHM/dme

<https://jonesandcarter.sharepoint.com/sites/BKDDTeamSite/Shared Documents/BKDD All Permits/R0002-1020-01.072 - Water Supply Plant No. 1 Phase 1 to serve Waller County MUD 43/2.0 - Letters/Tract Dev without Platting Ltr - Water Sup Plant 1 Ph 1 to serve WCMUD 43 041125.docx>

cc: Mr. Russell Walker – Maple Development Group, LLC via email russ@mapledevelopmentgroup.com
Ms. Sarah Velez, PE – LJA Engineering via email svelez@lja.com
Mr. Ross McCall, PE - Waller County Engineer via email engineering@wallercounty.us
Mr. Andrew Johnson, III - Johnson Petrov, LLP via email bkddlegal@johnsonpetrov.com



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April 11, 2025

Mr. Arnold England, President
Brookshire-Katy Drainage District
PO Box 608
Brookshire, Texas 77423

Reference: Perry Homes
Lakes of Cane Island Water Line and Force Main – **Final Drainage Plans**
Application ID No. 00730
BKDD Permit No. 2024-165
Quiddity, Inc. Job No. R0002-1033-01.015

Dear Mr. England:

The Brookshire-Katy Drainage District (District) received a permit application as follows:

Applicant: EHRA Engineering

Permit Type: Tract Development without Platting – Final Drainage Plans

Location: North of Morton Road, south of Clay Road, and west of Pitts Road

Description: The proposed Lakes of Cane Island Water Line and Force Main (Development) consists of a proposed water line and sanitary force main extending from south of the Lakes of Cane Island detention pond F, north to Clay Road. The water line extends east along Clay Road to the point where it connects with the future offsite water line proposed in the plans titled "Lakes of Cane Island Offsite Utilities". The offsite water line plans are included on the April 14, 2025 meeting agenda under Permit No. 2024-166. The sanitary force main extends from an existing force main to the west of Lake Walton Drive and is directed west, then south under Clay Road, continues south west, and connects to the future Lakes of Cane Island Lift Station. There are no proposed encroachments with District easements from the Development. Additionally, there are no proposed drainage or detention improvements associated with the Development.

Technical Review: Based on our review of the final drainage plans (plans), the permit application generally complies with the District's Rules and Regulations (R&R); we interpose no objection and recommend its approval by the District's Board of Supervisors.

Please note that this recommendation does not necessarily mean that the proposed design and all the calculations provided in the accompanying documentation have been completely checked and verified. Omissions in this review do not relieve the Development from complying with the District's R&R or any other regulatory requirements from a different entity having jurisdiction. Moreover, the plans submitted have been prepared, dated, signed, and sealed by a Professional Engineer. They are licensed to practice in the State of Texas, conveying these professional responsibilities and accountability.



Mr. Arnold England, President

April 11, 2025

Page 2

The proposed Development shall be constructed per the District's approved plans and in conformance with the District's R&R.

For the Applicant:

The District requires the engineer, project owner, and contractor to implement temporary drainage and storm water pollution prevention measures during construction to prevent any negative impacts. These measures are crucial to managing stormwater and maintaining site stability throughout construction.

Please note: at least two business days prior to starting construction, the Developer's contractor shall notify the District's General Manager in writing. The Pre-Construction Notification form can be found on the District's website under Permit Application and Engineering Documents (<https://www.bkdd.dst.tx.us/page/BKDD.Home>).

The Applicant shall not use this letter to commence any construction activities prior to receiving the **approved permits** from all applicable governing entities with jurisdiction.

Please do not hesitate to call if you have any questions or need additional information.

Sincerely,

Michael McCarthy, PE

MHM/dme

<https://jonesandcarter.sharepoint.com/sites/BKDDTeamSite/Shared Documents/BKDD All Permits/R0002-1033-01.015 Lakes of Cane Island Water Line and Force Main/2.0 - Letters/Tract Dev without Platting Ltr - Lakes of Cane Island Water Line and Force Main 041025.docx>

cc: Mr. Connor Young, PE – Perry Homes via email connor.young@perryhomes.com
 Ms. Elaine Stremlau, PE – EHRA Engineering via email estremlau@ehra.team
 Mr. Ross McCall, PE - Waller County Engineer via email engineering@wallercounty.us
 Mr. Andrew Johnson, III - Johnson Petrov, LLP via email bkddlegal@johnsonpetrov.com



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April 11, 2025

Mr. Arnold England, President
Brookshire-Katy Drainage District
PO Box 608
Brookshire, Texas 77423

Reference: Perry Homes
Lakes of Cane Island Offsite Utilities – **Final Drainage Plans**
Application ID No. 00731
BKDD Permit No. 2024-166
Quiddity, Inc. Job No. R0002-1033-01.016

Dear Mr. England:

The Brookshire-Katy Drainage District (District) received a permit application as follows:

Applicant: EHRA Engineering

Permit Type: Tract Development without Platting – Final Drainage Plans

Location: North of Clay Road, south of Stockdick School Road, and west of Pitts Road

Description: The proposed Lakes of Cane Island Offsite Utilities (Development) consists of a proposed water line extending from an existing water line south of Clay Road, crossing under Clay Road to the north, then continuing north through an easement between the Sunterra and Lakehouse developments, until it reaches the existing Lake House Water Plant. There are no proposed encroachments with District easements from the Development. Additionally, there are no proposed drainage or detention improvements associated with the Development.

Technical Review: Based on our review of the final drainage plans (plans), the permit application generally complies with the District's Rules and Regulations (R&R); we interpose no objection and recommend its approval by the District's Board of Supervisors.

Please note that this recommendation does not necessarily mean that the proposed design and all the calculations provided in the accompanying documentation have been completely checked and verified. Omissions in this review do not relieve the Development from complying with the District's R&R or any other regulatory requirements from a different entity having jurisdiction. Moreover, the plans submitted have been prepared, dated, signed, and sealed by a Professional Engineer. They are licensed to practice in the State of Texas, conveying these professional responsibilities and accountability.

The proposed Development shall be constructed per the District's approved plans and in conformance with the District's R&R.



Mr. Arnold England, President

April 11, 2025

Page 2

For the Applicant:

The District requires the engineer, project owner, and contractor to implement temporary drainage and storm water pollution prevention measures during construction to prevent any negative impacts. These measures are crucial to managing stormwater and maintaining site stability throughout construction.

Please note: at least two business days prior to starting construction, the Developer's contractor shall notify the District's General Manager in writing. The Pre-Construction Notification form can be found on the District's website under Permit Application and Engineering Documents (<https://www.bkdd.dst.tx.us/page/BKDD.Home>).

The Applicant shall not use this letter to commence any construction activities prior to receiving the **approved permits** from all applicable governing entities with jurisdiction.

Please do not hesitate to call if you have any questions or need additional information.

Sincerely,

Michael McCarthy, PE

MHM/dme

<https://jonesandcarter.sharepoint.com/sites/BKDDTeamSite/Shared Documents/BKDD All Permits/R0002-1033-01.016 Lakes of Cane Island Offsite Utilities/2.0 - Letters/Tract Dev without Platting Ltr - Lakes of Cane Island Offsite Utilities 041025.docx>

cc: Mr. Connor Young, PE – Perry Homes via email connor.young@perryhomes.com
 Ms. Elaine Stremlau, PE – EHRA Engineering via email estremlau@ehra.team
 Mr. Ross McCall, PE - Waller County Engineer via email engineering@wallercounty.us
 Mr. Andrew Johnson, III - Johnson Petrov, LLP via email bkddlegal@johnsonpetrov.com



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April 11, 2025

Mr. Arnold England, President
Brookshire-Katy Drainage District
PO Box 608
Brookshire, Texas 77423

Reference: Exeter 1300 Lookout, LP
Uplands Twinwood Distribution Center Parking Expansion – **Final Drainage Plans Revision**
Application ID No. 00317
Permit No. 2024-77 REVISED
Quiddity, Inc. Job No. R0002-1020-01.035

Dear Mr. England:

The Brookshire-Katy Drainage District (District) received a permit application as follows:

Applicant: Dynamic Engineering Consultants, PC

Permit Type: Tract Development w/o Platting – Final Drainage Plans Revision

Location: Discovery Hills Parkway, 2062 Woods Road, Brookshire, Texas 77423

Survey: Nathan Brookshire League, Abstract 16, Waller County, Texas

Previous Approvals: The District approved the Final Drainage Plans for the Uplands Twinwood Distribution Center Parking Expansion on July 15, 2024 under Permit No. 2024-77.

Revision: The proposed revision includes a phasing plan of the original approved design. Phase 1 includes the construction of 83 truck parking spaces located along the tract's eastern boundary. The remainder of the site will be constructed in Phase 2 which was approved under Permit No. 2024-77. A pre-development meeting was held with the engineer, developer, Quiddity, and BKDD staff to discuss the plan. The developer mentioned there may be plans to sell the property in the future, and the Phase 2 property would remain open green space for the foreseeable future. This approach was deemed feasible and inspection/close out procedures were agreed upon for the Phase 1 and 2 construction.

Description: The proposed Uplands Twinwood Distribution Center Parking Expansion (Development) is a part of the Twinwood Business Park development. The Development encompasses 7.8 acres for a parking lot expansion to serve an existing approximate 737,000 square



Mr. Arnold England, President
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Page 2

foot distribution center.

The drainage from the site is collected through an underground private storm sewer system and connects to an existing storm sewer system onsite that was previously approved with the development of Twinwood Distribution Center 1. The Twinwood Distribution Center 1 storm sewer was included in the plans titled "Twinwood Distribution Center 1" and approved by the District under Permit No. 2020-10 on June 22, 2020. Flow is then directed to the existing public storm sewer system along Discovery Hills Parkway, which was included in the plans titled "Water, Sanitary Sewer, Drainage Facilities & Paving and Appurtenances to serve Twinwood Business Park Phase 3" and approved by the District under Permit No. 2019-47 on May 11, 2020. Both of the existing storm sewer systems are designed to handle the Atlas 14 post-developed flows from the Development. The flow along Discovery Hills Parkway will then outfall into the Twinwood Business Park Phase 3 Detention Facilities, which outfalls into Drainage Channel B, which then outfalls into a tributary of the East Fork of Brookshire Creek. The Twinwood Business Park Phase 3 Detention Facilities were included in the plans titled "Twinwood Business Park Phase 3 Detention Facilities" and approved by the District under Permit No. 2019-48 on April 20, 2020.

Technical Review:

Based on our review of the final drainage plans (plans), the permit application generally complies with the District's Rules and Regulations (R&R); we interpose no objection and recommend its approval by the District's Board of Supervisors.

Please note that this recommendation does not necessarily mean that the proposed design and all the calculations provided in the accompanying documentation have been completely checked and verified. Omissions in this review do not relieve the Development from complying with the District's R&R or any other regulatory requirements from a different entity having jurisdiction. Moreover, a Professional Engineer has prepared, dated, signed, and sealed the plans submitted. This Professional is licensed to practice in the State of Texas, conveying these professional responsibilities and accountability.

At this time, no deviation or variance requests from the District's R&R have been requested or granted. The proposed Development shall be constructed per the District's approved plans and in conformance with the District's R&R.

For the Applicant:

Please be advised that in an effort to comply with the District's policy to maintain zero net increase in stormwater runoff rates and to ensure that no adverse impacts are attributable to the proposed Development, all detention facilities (i.e., drainage



Mr. Arnold England, President
 April 11, 2025
 Page 3

infrastructure and outfall(s)) must be constructed and functional before beginning construction of any impervious improvements.

The District requires the engineer, project owner, and contractor to implement temporary drainage measures during construction to prevent any negative impacts. These measures are crucial to managing stormwater and maintaining site stability throughout construction.

Please note: at least two business days prior to starting construction of the Detention Facilities and Drainage Infrastructure, the Developer's contractor shall notify the District's General Manager in writing. The Pre-Construction Notification form can be found on the District's website under Permit Application and Engineering Documents (<https://www.bkdd.dst.tx.us/page/BKDD.Home>).

The Applicant shall not use this letter to commence any construction activities prior to receiving the **approved permits** from all applicable governing entities with jurisdiction.

Please do not hesitate to call if you have any questions or need additional information.

Sincerely,

Michael H. McCarthy, PE

MHM/dme

[https://jonesandcarter.sharepoint.com/sites/BKDDTeamSite/Shared Documents/BKDD All Permits/R0002-1020-01.035 Uplands Twinwood Distribution Center Parking Expansion_00317/2.0 - Letters/REVISED Uplands Twinwood Distribution Ctr Parking Exp Approval Ltr_041125.docx](https://jonesandcarter.sharepoint.com/sites/BKDDTeamSite/Shared%20Documents/BKDD%20All%20Permits/R0002-1020-01.035%20Uplands%20Twinwood%20Distribution%20Center%20Parking%20Expansion_00317/2.0-Letters/REVISED%20Uplands%20Twinwood%20Distribution%20Ctr%20Parking%20Exp%20Approval%20Ltr_041125.docx)

cc: Mr. Rodrigo Lankenau Vela – Dynamic Engineering Consultants, PC rlankenau@dynamiccec.com
 Ms. Cassandra Huggins, PE – Dynamic Engineering Consultants, PC chuggins@dynamiccec.com
 Mr. Matthew Griser – Exeter Twinwood Land, LP matt.griser@egtexeter.com
 Mr. Ross McCall, PE – Waller County Engineer via email engineering@wallercounty.us
 Mr. Andrew Johnson, III – Johnson Petrov, LLP via email bkddlegal@johnsonpetrov.com



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April 10, 2025

Mr. Arnold England, President
Brookshire-Katy Drainage District
PO Box 608
Brookshire, Texas 77423

Reference: KB Home Lone Star, Inc.
Sunterra Sec 56 Amending Plat No 1- **Final Plat only**
Application ID No. 00907 (FP)
Permit No. 2024-02 REVISED
Quiddity Job No. R0002-1019-01.056

Dear Mr. England:

The Brookshire-Katy Drainage District (District) received a permit application as follows:

Applicant: Quiddity Engineering - LDS

Permit Type: Tract Development with Platting – Final Plat only(Amending Plat)

Location: South of Beckendorff Road, west of Pitts Road, north of Stockdick School Road, and east of Bartlett Road

Survey: H. & T. C. Railroad Company Survey Section 129, Abstract 204, Waller County, Texas

Description: The proposed Sunterra Section 56 Amending Plat No. 1 (Development) encompasses approximately 1.34 acres of single-family residential development and includes 10 lots, 1 block, and 1 reserve.

Revision: The revisions to the plat are to correct scrivener errors on lot bearings and dimensions, and to move lot lines. No modifications to overall plat boundary or drainage features are proposed.

Technical Review: Based on our review of the Amending Plat No. 1 final plat the permit application generally complies with the District's Rules and Regulations (R&R); we interpose no objection and recommend its approval by the District's Board of Supervisors.

Please note that this recommendation does not necessarily mean that the proposed design and all the calculations provided in the accompanying documentation have been completely checked and verified. Omissions in this review do not relieve the Development from complying with the District's R&R or any other regulatory requirements from a different entity having jurisdiction. Moreover, the plat submitted has been prepared, dated, signed, and sealed by a Professional Land Surveyor, respectively, who are licensed to practice in the State of Texas, conveying these professional responsibilities and accountability.



Mr. Arnold England, President
April 10, 2025
Page 2

At this time, no deviation or variance requests from the District's R&R have been requested or granted. The proposed Development shall be constructed per the District's approved plans and in conformance with the District's R&R.

For the Applicant: The applicant shall not use this letter to commence any construction activities prior to receiving all **approved permits** from the governing entities with jurisdiction.

Please do not hesitate to call if you have any questions or need additional information.

Sincerely,

Michael H. McCarthy, PE

MHM/dme

<https://jonesandcarter.sharepoint.com/sites/BKDDTeamSite/Shared Documents/BKDD All Permits/R0002-1019-01.056 Sunterra Section 56 Amending Plat No. 1/2.0 - Letters/Sunterra Section 56 Amending Final Plat No. 1 Approval Ltr 041025.docx>

cc: Mr. Gallo – KB HOME Lone Star, Inc. via email dgallo@kbhome.com
Quiddity Engineering – LDS Main via email Katy-LD@quiddity.com
Ms. Chantelle Jamnik - Quiddity Engineering via email cjamnik@quiddity.com
Mr. Ross McCall, PE – Waller County Engineer via email engineering@wallercounty.us
Mr. Andrew Johnson, III – Johnson Petrov, LLP via email bkddlegal@johnsonpetrov.com



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April 10, 2025

Mr. Arnold England, President
Brookshire-Katy Drainage District
PO Box 608
Brookshire, Texas 77423

Reference: Twinwood (U.S.), Inc.
TMEIC Twinwood – **Final Plat and Drainage Plans**
Application ID No. 00843 (FP) & 00774 (FDP)
Permit No. 2025-01
Quiddity Job No. R0002-1020-01.070

Dear Mr. England:

The Brookshire-Katy Drainage District (District) received a permit application as follows:

Applicant: LIA Engineering

Permit Type: Tract Development with Platting – Final Plat and Final Drainage Plans

Location: North of Discovery Hills Parkway, south of Twinwood Parkway, east of FM 359, and west of Twinwood Business Drive

Survey: Nathan Brookshire League, Abstract 16, Waller County, Texas

Previous Approvals: The District approved the Preliminary Plat for TMEIC Twinwood, on January 27, 2025.

Description: The proposed TMEIC Twinwood (Development) encompasses approximately 20.00 acres of commercial development and includes 0 Lots, 1 Block, and 1 Reserve. The Development consists of utilities, drainage, and paving to serve 1 commercial building.

The drainage for the site is conveyed through parking lot inlets into a private storm sewer system, which outfalls into the public storm sewer system in Discovery Hills Parkway. The District approved permit number 2021-90 in December 2021 for "Twinwood Business Park Phase 4" and permit number 2021-91 in December 2021 for "Twinwood Business Park Phase 5" which included the design of the existing roads and public storm sewer system. The public storm sewer outfalls directly into the existing offsite detention pond located in the construction plans titled "Twinwood Business Park Phase 4 and 5 Detention Facilities and Amenity Lake", that was approved by the District under permit number 2021-55 in February 2022. Additionally, the drainage impact assessment (DIA) for "Twinwood Uplands



Mr. Arnold England, President
April 10, 2025
Page 2

East Phases 4 and 5" has been reviewed and approved by the District in November 2021. The drainage service area and calculations outlined in the plans for the Development are in accordance with the DIA and approved detention pond plans.

DFMA: The referenced detention facilities are included in an executed Detention Facilities Maintenance Agreement (DFMA) with the District.

Technical Review: Based on our review of the final plat and final drainage plans (plans), the permit application generally complies with the District's Rules and Regulations (R&R); we interpose no objection and recommend its approval by the District's Board of Supervisors.

Please note that this recommendation does not necessarily mean that the proposed design and all the calculations provided in the accompanying documentation have been completely checked and verified. Omissions in this review do not relieve the Development from complying with the District's R&R or any other regulatory requirements from a different entity having jurisdiction. Moreover, the plat and plans submitted have been prepared, dated, signed, and sealed by a Professional Land Surveyor and Professional Engineer, respectively, who are licensed to practice in the State of Texas, conveying these professional responsibilities and accountability.

At this time, no deviation or variance requests from the District's R&R have been requested or granted. The proposed Development shall be constructed per the District's approved plans and in conformance with the District's R&R.

For the Applicant: Please be advised that in an effort to comply with the District's policy to maintain zero net increase in stormwater runoff rates and to ensure that no adverse impacts are attributable to the proposed Development, all detention facilities (i.e., drainage infrastructure and outfall(s)) must be constructed and functional before beginning construction of any impervious improvements.

At least two business days prior to starting construction of the Detention Facilities and Drainage Infrastructure, the Developer's contractor shall notify the District's General Manager in writing. The Pre-Construction Notification form can be found on the District's website under Permit Application and Engineering Documents (<https://www.bkdd.dst.tx.us/page/BKDD.Home>).



Mr. Arnold England, President
April 10, 2025
Page 3

The applicant shall not use this letter to commence any construction activities prior to receiving all **approved permits** from the governing entities with jurisdiction.

Please do not hesitate to call if you have any questions or need additional information.

Sincerely,

Michael H. McCarthy, PE

MHM/dme

[https://jonesandcarter.sharepoint.com/sites/BKDDTeamSite/Shared Documents/BKDD All Permits/R0002-1020-01.070 TMEIC Twinwood_00729/2.0 - Letters/TMEIC Twinwood - FP & FDP Approval Ltr 041025.docx](https://jonesandcarter.sharepoint.com/sites/BKDDTeamSite/Shared%20Documents/BKDD%20All%20Permits/R0002-1020-01.070%20TMEIC%20Twinwood_00729/2.0%20Letters/TMEIC%20Twinwood%20-%20FP%20&%20FDP%20Approval%20Ltr%20041025.docx)

cc: Twinwood (U.S.), Inc. via email kilkenny@twinwoodus.com
TMEIC Corporation Americas via email jenna.caderas@cbre.com
Ms. Naomi McAninch – LJA Engineering via email nmcaninch@lja.com
Mr. Adam Hutchison, PE – LJA Engineering via email ahutchison@lja.com
LJA Site Department via email @ sitedepartment@lja.com
Mr. Ross McCall, PE – Waller County Engineer via email engineering@wallercounty.us
Mr. Andrew Johnson, III – Johnson Petrov, LLP via email bkddlegal@johnsonpetrov.com



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April 9, 2025

Mr. Arnold England, President
Brookshire-Katy Drainage District
PO Box 608
Brookshire, Texas 77423

Reference: PHHOU - Cane Island 178, LLC
Lakes of Cane Island Section 6 – **Preliminary Plat and Preliminary Drainage Plans**
Application ID No. 00888
Permit No. – N/A
Quiddity Job No. R0002-1033-01.019

Dear Mr. England:

The Brookshire-Katy Drainage District (District) received a permit application as follows:

Applicant: EHRA

Permit Type: Tract Development with Platting – Preliminary Plat and Preliminary Drainage Plan

Location: North of Morton Road, south of Clay Road, east of Schlipf Road, west of Pitts Road

Survey: H. & T.C.R.R. Co. Survey, Abstract No. 205, Section 127, Waller County, Texas

Technical Review: Based on our review of the Preliminary Plat of Lakes of Cane Island Section 6, the permit application generally complies with the District's Rules and Regulations; we interpose no objection and recommend its acceptance by the District's Board of Supervisors.

It is to be understood that the **acceptance of the Preliminary Plat** by the District's Board of Supervisors does not constitute official acceptance of the proposed development by the District but does constitute an authorization to begin and proceed with the preparation of the Final Drainage Plans and Final Plat.

The applicant shall not use this Preliminary approval to commence any construction activities until the Final Drainage Plans and Final Plat have been **approved and accepted** in official actions by the District and from any governing entity with jurisdiction.

For the Applicant: The applicant's next step is to submit **two** separate applications: **one for the Final Plat**, outlining the development's layout and design, and **another for the Final Drainage Plans**, including construction plans and drainage calculations. Both applications should include all necessary engineering information and documents for a thorough and comprehensive review.



Mr. Arnold England, President

April 9, 2025

Page 2

DFMA: If proposing detention facilities, the proposed development will require a Detention Facilities Maintenance Agreement (DFMA) with the District. The submittal of the DFMA shall include all required information/documents for review and coordination with the District's Legal Counsel.

Please do not hesitate to call if you have any questions or need additional information.

Sincerely,

Michael H. McCarthy, PE

MHM/dme

<https://jonesandcarter.sharepoint.com/sites/BKDDTeamSite/Shared Documents/BKDD All Permits/R0002-1033-01.019 Lakes of Cane Island Section 6/2.0 - Letters/PP & PDP Ltr Lakes of Cane Island Section 6 040925.docx>

cc: Ms. Jacey Neuberger – EHRA via email jneuberger@ehra.team
Mr. Ross McCall, PE - Waller County Engineer via email engineering@wallercounty.us
Mr. Andrew Johnson, III - Johnson Petrov, LLP via email bkddlegal@johnsonpetrov.com



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April 9, 2025

Mr. Arnold England, President
Brookshire-Katy Drainage District
PO Box 608
Brookshire, Texas 77423

Reference: PHHOU - Cane Island 178, LLC
Lakes of Cane Island Section 7 – **Preliminary Plat and Preliminary Drainage Plans**
Application ID No. 00891
Permit No. – N/A
Quiddity Job No. R0002-1033-01.020

Dear Mr. England:

The Brookshire-Katy Drainage District (District) received a permit application as follows:

Applicant: EHRA

Permit Type: Tract Development with Platting – Preliminary Plat and Preliminary Drainage Plan

Location: North of Morton Road, south of Clay Road, east of Schlipf Road, west of Pitts Road

Survey: H. & T.C.R.R. Co. Survey, Abstract No. 205, Section 127, Waller County, Texas

Technical Review: Based on our review of the Preliminary Plat of Lakes of Cane Island Section 7, the permit application generally complies with the District's Rules and Regulations; we interpose no objection and recommend its acceptance by the District's Board of Supervisors.

It is to be understood that the **acceptance of the Preliminary Plat** by the District's Board of Supervisors does not constitute official acceptance of the proposed development by the District but does constitute an authorization to begin and proceed with the preparation of the Final Drainage Plans and Final Plat.

The applicant shall not use this Preliminary approval to commence any construction activities until the Final Drainage Plans and Final Plat have been **approved and accepted** in official actions by the District and from any governing entity with jurisdiction.

For the Applicant: The applicant's next step is to submit **two** separate applications: **one for the Final Plat**, outlining the development's layout and design, and **another for the Final Drainage Plans**, including construction plans and drainage calculations. Both applications should include all necessary engineering information and documents for a thorough and comprehensive review.



Mr. Arnold England, President

April 9, 2025

Page 2

DFMA: If proposing detention facilities, the proposed development will require a Detention Facilities Maintenance Agreement (DFMA) with the District. The submittal of the DFMA shall include all required information/documents for review and coordination with the District's Legal Counsel.

Please do not hesitate to call if you have any questions or need additional information.

Sincerely,

Michael H. McCarthy, PE

MHM/dme

<https://jonesandcarter.sharepoint.com/sites/BKDDTeamSite/Shared Documents/BKDD All Permits/R0002-1033-01.020 Lakes of Cane Island Section 7/2.0 - Letters/PP & PDP Ltr Lakes of Cane Island Section 7 040925.docx>

cc: Mr. William Mohamad – EHRA via email wmohamad@ehra.team
Mr. Ross McCall, PE - Waller County Engineer via email engineering@wallercounty.us
Mr. Andrew Johnson, III - Johnson Petrov, LLP via email bkddlegal@johnsonpetrov.com

BROOKSHIRE-KATY DRAINAGE DISTRICT

MONTHLY EQUIPMENT MILEAGE/HOUR, AND EXPENSE REPORT

FEBRUARY 2025

TRACTORS

EQUIPMENT	YEAR MODEL	LIFETIME HOURS	HOURS THIS MONTH	FISCAL YTD HOURS	EXPENSES THIS MONTH	FISCAL YTD EXPENSES
JD 5100E BAT-WING TRACTOR	2019	3,374	13	166	\$0.00	\$2,731.66
JD 6145M 2019 BOOM MOWER	2019	2,914	38	76	\$0.00	\$0.00
JD 6145M 2021 BOOM MOWER	2021	2,095	18	342	\$0.00	\$383.30
JD 6150M BOOM MOWER	2015	7,008	20	386	\$931.80	\$1,044.87
JD 930M Z-TRAK MOWER	2018	654	2	12	\$0.00	\$152.72

HEAVY EQUIPMENT

EQUIPMENT	YEAR MODEL	LIFETIME HOURS	HOURS THIS MONTH	FISCAL YTD HOURS	EXPENSES THIS MONTH	FISCAL YTD EXPENSES
CAT 920 WHEEL LOADER	2024	522	57	320	\$0.00	\$266.40
CAT D6k2 DOZER	2019	1,777	2	18	\$0.00	\$1,979.04
CAT 323 EXCAVATOR	2018	5,079	29	257	\$0.00	\$2,642.75
CAT 416E BACKHOE	2012	3,773	30	115	\$70.64	\$878.63
NORAM 65E MOTOR GRADER	2014	3,018	5	30	\$0.00	\$0.00
CAT 265 SKID STEER	2025	100	16	100	\$0.00	\$0.00

VEHICLES

EQUIPMENT	YEAR MODEL	LIFETIME MILES	MILES THIS MONTH	FISCAL YTD MILES	EXPENSES THIS MONTH	FISCAL YTD EXPENSES
F-250 4X4 w/FUEL TANK (CREW)	2020	19,403	704	2,061	\$0.00	\$15.50
TACOMA SR 4X4 (INSPECTOR)	2020	51,379	111	2,425	\$0.00	\$58.96
F-150 4X4 (INSPECTOR)	2017	100,882	1,016	5,414	\$0.00	\$114.98
F-250 4X4 (CREW)	2016	104,835	201	936	\$0.00	\$10.98
F-750 DUMP TRUCK	2011	48,754	105	1,080	\$106.43	\$434.58
FREIGHTLINER HAUL TRUCK	2000	1,050	49	190	\$1,576.80	\$2,095.28
DODGE RAM 4X4 (2301) (CREW)	2023	8,422	787	2,353	\$0.00	\$0.00
DODGE RAM 4X4 (2302) (FOREMAN)	2023	20,466	849	3,959	\$0.00	\$8.05
TACOMA TDR 4X4 (ASST GM)	2023	17,644	795	3,897	\$0.00	\$9.51
FREIGHTLINER DUMP TRUCK	2020	54,871	215	1,168	\$62.67	\$1,527.19
KAWASAKI MULE PRO	2024	124	29	49	\$0.00	\$0.00

TRAILERS

EQUIPMENT	YEAR MODEL	EXPENSES THIS MONTH	FISCAL YTD EXPENSES
LOAD MAX TRAIL 20' TANDEM	2020	\$0.00	\$0.00
CARRY-ON 6'x8' 2-WHEEL	2017	\$0.00	\$0.00
NUTTALL LOWBOY	1985	\$0.00	\$0.00
SPRAYER TANK TRAILER	?	\$0.00	\$0.00
HOME-MADE 4-WHEEL	1980	\$0.00	\$0.00

MARCH 2025 - FINANCIAL REPORT

Exhibit "C"

General Fund	\$4,053,140.50
Payroll Fund	\$238,970.23
Petty Cash	\$1,935.19
Building Fund	\$1,894,796.28
Capital Improvement Fund	\$729,497.65
Texpool Fund	\$3,299.16
Amegy Bank Checking	\$948,974.74
Austin Co. State Bank CD	\$244,834.28
Bank of Shiner CD	\$190,992.14
Bank of Brenham CD	\$238,801.54
Citizens State Bank CD	\$236,590.24
Fayetteville Bank CD	\$187,419.62
First Nat. Bank Bellville CD	\$188,412.94
Industry State Bank CD	\$238,800.90
TOTAL RECONCILED BALANCE	\$9,396,465.41

RESERVES:
\$1,525,851.66

All accounts are reconciled.

FUNDS						
	TexPool	Prosperity Bank General Fund	Prosperity Bank Payroll Fund	Amegy Bank Grant - Checking	Prosperity Bank Building Fund	Prosperity Bank Capital Imprvmnts
Fund Balance						
Beginning Balance 3/1	\$3,288.19	\$3,761,698.77	\$94,445.15	\$1,040,660.99	\$1,901,727.52	\$757,381.61
Deposits and Credits	\$10.97	\$45,011.53	\$200,016.07	\$0.00	\$242.03	\$93.74
Debits and Withdrawals	\$0.00	\$408,974.59	\$52,631.54	\$47,330.00	\$5,728.47	\$23,852.70
Ending Balance 3/31	\$3,299.16	\$3,397,735.71	\$241,829.68	\$993,330.99	\$1,896,241.08	\$733,622.65
Less Total Outstanding Drafts/Deposits (Net Amount)	\$0.00	\$655,404.79	-\$2,859.45	-\$44,356.25	-\$1,444.80	-\$4,125.00
Adjusted Ending Balance 3/31	\$3,299.16	\$4,053,140.50	\$238,970.23	\$948,974.74	\$1,894,796.28	\$729,497.65
Monthly Interest Earned	\$10.97	\$461.53	\$16.07	\$0.00	\$242.03	\$93.74

CERTIFICATES OF DEPOSIT							
	Austin County State Bank	Bank of Shiner	Citizens State Bank	Fayetteville Bank	First National Bank of Bellville	Industry State Bank	Bank of Brenham
Fund Balance							
Beginning Balance 3/1	\$244,834.28	\$190,992.14	\$236,590.24	\$187,419.62	\$188,185.14	\$238,800.90	\$238,801.54
Deposits and Credits	\$0.00	\$0.00	\$0.00	\$0.00	\$227.80	\$0.00	\$0.00
Debits and Withdrawals	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Ending Balance 3/31	\$244,834.28	\$190,992.14	\$236,590.24	\$187,419.62	\$188,412.94	\$238,800.90	\$238,801.54
Interest/Earned	\$0.00	\$0.00	\$0.00	\$0.00	\$227.80	\$0.00	\$0.00

ADOPTED BUDGET	
24-25 FY Budget	\$5,294,869.51
YTD Expenses	\$1,639,887.67
New Equipment	\$113,981.73
Master Drainage Plan Phase 2	\$300,000.00
Total Budgeted Expenses YTD	\$2,053,869.40

ENFORCEMENT/CIVIL PENALTIES	
Awry Concrete	\$60,000.00 BKDD Received FY 24-25
DI Landholdings	\$65,000.00 BKDD Received FY 24-25

NEW ADMIN BLDG	FYTD EXPENSES	\$706,779.32
MDP PHASE 2	FYTD EXPENSES	\$120,591.10

MINUTES
BROOKSHIRE-KATY DRAINAGE DISTRICT

April 28, 2025

The Board of Supervisors of Brookshire-Katy Drainage District (the "District") met in special session, open to the public, at 8:30 a.m. on the 28th day of April, 2025, at 1111 Kenney Street, Brookshire, Texas, inside the boundaries of the District, and the roll was called of the members of the Board:

Arnold England	President
Pat Keeling	Vice President
David Welch	Secretary
Blake Beckendorff	Supervisor
John Chisum	Assistant Secretary

and all of the above were present except Supervisor Welch, thus constituting a quorum. Supervisor Beckendorff entered the meeting at 8:42 a.m. during Agenda Item No. 4.

Also attending the meeting were Buddy Brand, Assistant General Manager of the District; Wendy Sidwell, District Administrator; Michael McCarthy, P.E., of Quiddity Engineering ("Quiddity" or "Engineer"); William Petrov, attorney, and Mirna Croon, paralegal, of Johnson Petrov, LLP ("Johnson Petrov" or "Attorney"); Kyle Blank, P.E., Kevin Fogelson, P.E. and Christian Walker, P.E., of Quiddity Engineering Land Development Group representing Sunterra Development; and Susan Minky, a resident of the District.

Agenda Item No. 1
CALL TO ORDER

The President called the meeting to order.

Agenda Item No. 2
INVOCATION AND PLEDGE OF ALLEGIANCE

The meeting was opened with the Invocation and Pledge of Allegiance.

Agenda Item No. 3
PUBLIC COMMENT

There were no public comments.

Agenda Item No. 4
PERMIT APPLICATION FOR DRAINAGE STUDY ANALYSIS FOR SUNTERRA LAKES PHASE 1 NORTH AND PHASE 2 SOUTH DIA; ID: 00863.

Upon motion by Supervisor Chisum, seconded by Supervisor Keeling, after full discussion and with all Supervisors present voting aye, the Board approved Permit Application ID: 00863 as recommended by Quiddity. A copy of the recommendation letter is attached hereto as Exhibit "A".

Agenda Item No. 5
PERMIT APPLICATION FOR TRACT DEVELOPMENT WITHOUT PLATTING FOR GRANGE CLEARING AND GRUBBING PHASE 2; ID: 00838, PERMIT NO. 2025-14.

Upon motion by Supervisor Beckendorff, seconded by Supervisor Chisum, after full discussion and with all Supervisors present voting aye, the Board approved Permit Application No. 2025-14, as recommended by Quiddity. A copy of the recommendation letter is attached hereto as Exhibit "A-1".

Agenda Item No. 6

PERMIT APPLICATION FOR TRACT DEVELOPMENT WITH PLATTING FOR LA SEGARRA SECTION 2 - FINAL DRAINAGE PLANS: ID: 00681, FINAL PLAT: ID: 00680, PERMIT NO. 2024-154.

Upon motion by Supervisor Beckendorff, seconded by Supervisor Keeling, after full discussion and with all Supervisors present voting aye, the Board approved Permit Application No. 2025-154, as recommended by Quiddity. A copy of the recommendation letter is attached hereto as Exhibit "A-2".

Agenda Item No. 7

PERMIT APPLICATION FOR TRACT DEVELOPMENT WITH PLATTING FOR SUNTERRA NORTH COMMERCIAL DEVELOPMENT - FINAL DRAINAGE PLANS: ID: 00793, FINAL PLAT: ID: 00790, PERMIT NO. 2025-03

Upon motion by Supervisor Chisum, seconded by Supervisor Keeling, after full discussion and with all Supervisors present voting aye, the Board approved Permit Application No. 2025-03, as recommended by Quiddity. A copy of the recommendation letter is attached hereto as Exhibit "A-3".

Agenda Item No. 8

PERMIT APPLICATION FOR TRACT DEVELOPMENT WITH PLATTING FOR SECOND REPLAT OF TWINWOOD COMMERCE CENTER - PRELIMINARY PLAT, ID: 00915.

Upon motion by Supervisor Beckendorff, seconded by Supervisor Keeling, after full discussion and with all Supervisors present voting aye, the Board approved Permit Application No. 00915, as recommended by Quiddity. A copy of the recommendation letter is attached hereto as Exhibit "A-4".

Agenda Item No. 9

PERMIT EXTENSION REQUEST FOR TRACT DEVELOPMENT WITH PLATTING FOR LAKES OF CANE ISLAND REC CENTER - PRELIMINARY PLAT & DRAINAGE PLANS, ID: 00634.

Upon motion by Supervisor Chisum, seconded by Supervisor Keeling, after full discussion and with all Supervisors present voting aye, the Board approved Permit Extension Request for Application No. 00634 for 180 days (until October 25, 2025), as recommended by Quiddity. A copy of the recommendation letter is attached hereto as Exhibit "A-5".

Agenda Item No. 10

UPDATE ON ENFORCEMENT ACTION ITEMS

Mr. Petrov briefed the Board on the enforcement actions concerning AWRY Ready-Mix Concrete, DI Landholdings, and Alfredo Martinez.

Agenda Item No. 11

DISCUSS PROGRESS OF NEW ADMINISTRATION BUILDING

Mr. Petrov reported receiving the proposed Tender Agreement format from Berkshire Hathaway (the "Surety"). He indicated general acceptance of the proposed Agreement, with exceptions regarding certain provisions in Section 7.2, which are being

2554

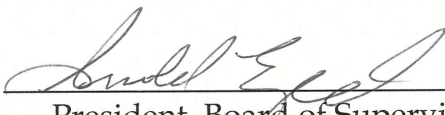
negotiated with the Surety. The Surety has established April 28, 2025 as the bid submission deadline, with possible contract award expected on May 9, 2025.

ADJOURNMENT

With no additional matters to discuss, upon motion by Supervisor Keeling, seconded by Supervisor Chisum, and with all Supervisors voting aye, the Board adjourned the meeting at 9:10 a.m.

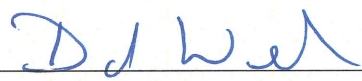
[EXECUTION PAGE FOLLOWS]

SIGNED this 12th day of May 2025.



President, Board of Supervisors

ATTEST:



Secretary, Board of Supervisors



Exhibit Number	Description
Exhibit "A"	Recommendation letter from Quiddity for Permit Application ID: 00863
Exhibit "A-1"	Recommendation letter from Quiddity for Permit Application No. 2025-14
Exhibit "A-2"	Recommendation letter from Quiddity for Permit Application No. 2025-154
Exhibit "A-3"	Recommendation letter from Quiddity for Permit Application No. 2025-03
Exhibit "A-4"	Recommendation letter from Quiddity for Permit Application ID: 00915
Exhibit "A-5"	Recommendation letter from Quiddity for Permit Extension Request for Application No. 00634



2322 W Grand Parkway North, Suite 150
Katy, Texas 77449
Tel: 832.913.4000
www.quiddity.com

April 25, 2025

Mr. Arnold England, President
Brookshire-Katy Drainage District
PO Box 608
Brookshire, Texas 77423

Reference: Sunterra Lakes Phase 1 North and Phase 2 South – Drainage Impact Analysis
Waller County, Texas
Application ID No. 00863
Quiddity Job No. R0002-1036-01.012

Dear Mr. England:

The referenced Sunterra Lakes Phase 1 North and Phase 2 South (Development) Drainage Impact Analysis (Report) has been reviewed pursuant to the Brookshire-Katy Drainage District's (District) Rules and Regulations (R&R). A copy of the Report is attached for further information.

This review aims to verify whether the Development's proposed drainage and detention facilities as analyzed within the Report generally comply with the District's R&R and criteria. This review addresses issues regarding hydraulic and hydrologic drainage design criteria only. The subsequent plats and drainage plans for the proposed Development must be submitted to the District for review and approval. Additionally, the Report certifies that no adverse impacts will take place within the receiving waterways, adjacent properties, or downstream facilities in accordance with the District's R&R.

Technical Review & Findings:

The ultimate development for Sunterra West (Sunterra Lakes) includes approximately 1,464.6 acres of land for primarily future single-family residential use and is located north of Morton Road, east of FM 362, west of Neuman Road, and south of FM 529. The Development is comprised of approximately 451.7 acres referenced as Phase 1 North and is located on the northeastern portion of the tract. The Development is also comprised of approximately 344.9 acres referenced as Phase 2 South and is located on the southeastern portion of the tract. Both phases are included within the same submittal package since Phase 1 North and Phase 2 south will be constructed simultaneously. Therefore, the model for the Development includes both phases to best resemble proposed conditions. Furthermore, Phase 1 North is hydraulically isolated from any development within Phase 2 South.

Phase 1 North

The existing drainage conditions for the Phase 1 North development is generally flat, but flow is directed to the south and east towards the District's existing 40-ft wide drainage easement. There is a significant amount of offsite sheet flow that enters the tract from the north and west. The Development proposes two grass-lined swales and two amenity ponds along the development's northern boundary to intercept offsite sheetflow from the north, which will then convey flow to proposed detention ponds within the Phase 1 North development and outfall into the District's drainage channel.



Mr. Arnold England, President

April 25, 2025

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For offsite flow from the west, the Phase 1 North development includes proposed off-site inundation areas to the southwest to contain the flow. The inundation areas extend southwest of the Phase 1 North development's boundaries but are contained within the future development areas of the Sunterra Lakes ultimate boundary (owned by the same developer) for storm events up to and including the Atlas 14 100-yr storm event. These inundation areas are designed to capture the overflow and runoff from offsite sheetflow to the west with a controlled discharge that is conveyed through shallow swales and outfalls into proposed Ponds 13 and 14. To address the inundation areas, the Phase 1 North development includes a series of temporary berms that will be constructed around the ultimate footprint of Ponds 13 and 14 and in front of the future boulevard that splits the Development. The top of berm will be placed at an elevation with 1-ft above the 100-yr WSE. The inundation areas are temporary and will be removed in the ultimate condition. The inundation areas will be required to be placed **within inundation easements prior to the District's approval** of the final drainage plans for the Phase 1 North detention facilities. The Applicant will be required to provide metes & bounds and exhibits of the proposed inundation easements to the District's legal counsel for review.

The Phase 1 North development is located within Unshaded Zone X, as shown on FIRM panel 48473C0350E dated February 18, 2009, so no floodplain mitigation was included in the Report. The Phase 1 North development includes a revised existing conditions hydraulic model using a 1D/2D Unsteady HEC-RAS (v. 6.4.1) model that utilized hydrological parameters obtained from the Phase 1 South development and District's Master Drainage Plan – Phase 1 models. The Development's model extends both upstream and downstream of the Development to ensure no adverse impacts are encountered as a result of the proposed conditions.

The Phase 1 North development includes construction of seven (7) wet bottom detention ponds (Ponds 9, 10, 11, 12, 13, 14, and 15) and two amenity ponds. The combined total detention storage volume for the Phase 1 North development is 810.4 acre-feet and the detention storage rate is 1.79 ac-ft/ac. Each detention pond will include minimum 20-ft wide maintenance berms, 4:1 side slopes, 1-ft of freeboard, and gravity only outfalls. The wet bottom detention ponds include a normal water surface elevation ranging from 171 ft to 172 ft. The top of banks for the detention ponds range from 181.55 ft to 183.27 ft. The ponds are interconnected with a series of equalizer pipes that maintain consistent water surface elevations throughout. Ponds 10 and 11 outfall directly to Pond 13, which outfalls into Pond 14, which outfalls into Pond 15. Pond 12 outfalls directly into Pond 15. Pond 15 outfalls into Pond 9, which outfalls into the District's drainage channel to the east of the Development via a proposed 12-inch reinforced concrete pipe. Flow is directed south before ultimately discharging into Brookshire Creek. The subsequent final drainage plans will include extreme event spillways that will be sized to convey the peak 100-yr release flow into the District's drainage channel.

Given the proposed drainage and detention improvements, the Phase 1 North development proposes water surface elevation reductions within the receiving District drainage channel up to and including the Atlas 14 100-yr storm event. **Water surface elevation reductions within the District's drainage channel averaged 0.03 ft in the 100-yr storm event downstream of the development.** The Phase 1 North development includes an extensive drain down time which warranted further analysis. The Report concluded there is 492.20 ac-ft available (approximately 60.7% of the detention storage volume) 7 days after the 100-yr storm event and 562.74 ac-ft available (approximately 69.4% of the detention storage volume) 14 days after the 100-yr storm event. Therefore, the Report concludes that the flows from a consecutive 25-yr storm event can fit within the detention facilities top of bank at 7 days.



Mr. Arnold England, President

April 25, 2025

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Phase 2 South

The existing drainage conditions for the Phase 2 South development is generally flat, but flow is directed to the south and east towards the District's existing 15-ft wide drainage easement. There is a significant amount of offsite sheet flow that enters the tract from the north and west. The Phase 2 South development proposes one grass-lined swale and offsite berms along the development's northwestern and southwestern boundary to intercept offsite sheetflow from the north and west, which will then convey flow to proposed Ponds 6 and 7 within the Phase 2 South development.

The proposed off-site inundation areas were covered in the Phase 1 North description within this letter. The Phase 2 South development includes a series of temporary berms that will be constructed around the ultimate footprint of Ponds 6 and 7 to control the inundation areas. The top of berm will be placed at an elevation with 1-ft above the 100-yr WSE. The inundation areas are temporary and will be removed in the ultimate condition. The inundation areas will be required to be placed within inundation easements prior to the District's approval of the final drainage plans for the Phase 2 South detention facilities. The Applicant will be required to provide metes & bounds and exhibits of the proposed inundation easements to the District's legal counsel for review.

The Phase 2 South development is located within Unshaded Zone X, as shown on FIRM panel 48473C0350E dated February 18, 2009, so no floodplain mitigation was included in the Report. The Phase 2 South development includes a revised existing conditions hydraulic model using a 1D/2D Unsteady HEC-RAS (v. 6.4.1) model that utilized hydrological parameters obtained from the Phase 1 South development and District's Master Drainage Plan – Phase 1 models. The Development's model extends both upstream and downstream of the Development to ensure no adverse impacts are encountered as a result of the proposed conditions.

The Phase 2 South development includes construction of one wet bottom detention pond (Pond 5), one dry bottom pond (Pond 7), and an expansion to the existing Pond 6. The combined total detention storage volume for the Phase 2 South development is 246.0 acre-feet and the detention storage rate is 0.71 ac-ft/ac. For Phase 1 North and Phase 2 South, the combined detention storage is 1,056.4 ac-ft with a detention storage rate of 1.33 ac-ft/ac.

Each detention pond will include minimum 20-ft wide maintenance berms, 4:1 side slopes, 1-ft of freeboard, and gravity only outfalls. Ponds 5 and 6 include a normal water surface elevation of 169.91 ft and 171.0 ft, respectively. The top of banks for the detention ponds range from 180.14 ft to 181.78 ft. The ponds are interconnected with a series of equalizer pipes that maintain consistent water surface elevations throughout. Pond 7 outfalls directly to Pond 6, which outfalls into Pond 4. Pond 5 outfalls directly to Pond 4. Pond 4 outfalls into Pond 3, which outfalls into Pond 1, which outfalls into the District's drainage channel to the east of the Development via proposed two 4-ft x 2-ft reinforced concrete boxes. Ponds 4, 3, and 1 were included in the Phase 1 South Drainage Impact Analysis (Application ID: 00165) that was accepted by the District on July 15, 2024. Flow is directed south before ultimately discharging into Brookshire Creek. The subsequent final drainage plans will include extreme event spillways that will be sized to convey the peak 100-yr release flow into the District's drainage channel.



Mr. Arnold England, President

April 25, 2025

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Given the proposed drainage and detention improvements, the Phase 2 South development proposes water surface elevation reductions within the receiving District drainage channel up to and including the Atlas 14 100-yr storm event. Water surface elevation reductions within the District's drainage channel averaged 0.03 ft in the 100-yr storm event downstream of the development. The Phase 2 South development includes an extensive drain down time which warranted further analysis. The Report concluded there is 485.20 ac-ft available (approximately 81.7% of the detention storage volume) 7 days after the 100-yr storm event and 534.02 ac-ft available (approximately 90.0% of the detention storage volume) 14 days after the 100-yr storm event. Therefore, the Report concludes that the flows from a consecutive 25-yr storm event can fit within the detention facilities top of bank at 7 days.

District Ultimate ROW

Phase 1 North

Along the Phase 1 North eastern border, there is an existing 40-ft wide District drainage easement located within the development. The Applicant utilized the ultimate right-of-way (ROW) analysis for the District's channel along Neuman Road that was conducted downstream of the Development for the Azalea (Maple Grove) and Pattison Farms developments. This analysis incorporated the findings from the District's Master Drainage Plan—Phase 1, and determined an ultimate ROW of the District's channel to be approximately 100-ft at the northeast corner of the Azalea development. The Applicant assumed a 150-ft wide ultimate ROW for the District's drainage easement as a conservative measure and proposes to dedicate an additional 35-ft of drainage easement to the District, or 75-ft in total width within the development, to meet their 50-percent share of the ultimate ROW. It is our understanding the Applicant is coordinating with Waller County regarding potential amendments to the Waller County Major Thoroughfare Plan which includes the removal of an extension from Neuman Road to FM 529 and the re-alignment of HWY 36A which will tie into FM 362. The referenced ROW dedications to the District will be included in the subsequent permit applications and final plats for the Development that will be submitted to the District for review and approval.

Phase 2 South

Along the Phase 2 South eastern border, there is an existing 15-ft wide District drainage easement located within the development. Using the same methodology for the ultimate ROW analysis as described in Phase 1 North, the Applicant assumed a 150-ft wide ultimate ROW for the District's drainage easement as a conservative measure. Therefore, the Applicant proposes to dedicate an additional 60-ft of drainage easement to the District, or 75-ft in total width within the development, to meet their 50-percent share of the ultimate ROW. The referenced ROW dedications to the District will be included in the subsequent permit applications and final plats for the Development that will be submitted to the District for review and approval.



Mr. Arnold England, President
April 25, 2025
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Conclusion:

Based on our review of the Report, the Development does not show any adverse impacts from the proposed max water surface elevations within the receiving District drainage easement, including downstream facilities, when compared to those under the existing conditions for storm events up to and including the Atlas 14 100-yr storm event. Table 17 from the Report indicate the existing and proposed 2-, 10-, and 100-year water surface elevations within the receiving District easement are either the same or lower in the proposed condition when compared to those under the existing conditions for storm events up to and including the Atlas 14 100-yr storm event.

The permit applications for the subsequent drainage plans must include a certification from a professional engineer licensed to practice in the state of Texas that the future developments will cause no adverse impact to the receiving drainage and detention facilities, including downstream facilities, in full compliance with this Report.

At this time, no variance requests from the District's R&R have been requested or granted. We offer no objections to this Sunterra Lakes Phase 1 North and Phase 2 South Drainage Impact Analysis and recommend the District accept this Report.

Please note that this recommendation does not necessarily mean that the proposed design and all the calculations provided in the accompanying documentation have been completely checked and verified. Omissions in this review do not relieve the Development from complying with the District's R&R or any other regulatory requirements from a different entity having jurisdiction. Moreover, the submitted Report has been prepared, dated, signed, and sealed by a Professional Engineer licensed to practice in the State of Texas, conveying their professional responsibilities and accountability.

For the Applicant

- **DFMA - The property owner will be required to coordinate with the District's legal counsel and execute a Detention Facilities Maintenance Agreement (DFMA) for this Development before the District approves the final drainage and detention plans for the Development. The Board will consider approval of the DFMA once recommended by the District's legal counsel.**
- **Inundation Easements - The applicant will be required to coordinate with the District's legal counsel and finalize the inundation easements for this Development. The fully executed and recorded inundation easements must be submitted before the District approves the final drainage and detention plans for the Development.**
- **The applicant shall not use this letter to commence any construction activities prior to receiving all approved permits from the governing entities with jurisdiction.**



Mr. Arnold England, President
April 25, 2025
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Please do not hesitate to call if you have any questions or need additional information.

Sincerely,

Michael H. McCarthy, PE

MHM/dme

<https://jonesandcarter.sharepoint.com/sites/BKDDTeamSite/Shared Documents/BKDD All Permits/R0002-1036-01.012 Sunterra Lakes Ph 1 North & Ph 2 South DIA/2.0 - Letters/DIA Ltr - Sunterra Lakes Ph 1 North & Ph 2 South 042525.docx>

Enclosures

cc: Mr. Brian Stidham – Astro Sunterra Lakes North LLC via email bstidham@starwoodland.com
Mr. Kevin Vogelsang, PE – Quiddity Engineering LDS via email kvogelsang@quiddity.com
Mr. Kyle Blank, PE – Quiddity Engineering LDS via email kblank@quiddity.com
Mr. Christian Walker, PE – Quiddity Engineering LDS via email cwalker@quiddity.com
Quiddity Engineering – LDS via email Katy-LD@quiddity.com
Mr. Ross McCall, PE – Waller County Engineer via email engineering@wallercounty.us
Mr. Andrew Johnson, III – Johnson Petrov, LLP via email bkddlegal@johnsonpetrov.com



2322 W Grand Parkway North, Suite 150
Katy, Texas 77449
Tel: 832.913.4000
www.quiddity.com

April 24, 2025

Mr. Arnold England, President
Brookshire-Katy Drainage District
PO Box 608
Brookshire, Texas 77423

Reference: Katy 2855 Development, LLC
Grange Clearing and Grubbing Phase 2 – **Tract Development without Platting**
Application ID No. 00838
BKDD Permit No. 2025-14
Quiddity, Inc. Job No. R0002-1021-01.018

Dear Mr. England:

The Brookshire-Katy Drainage District (District) received a permit application as follows:

<u>Applicant:</u>	BGE
<u>Permit Type:</u>	Tract Development without Platting – Final Drainage Plans
<u>Location:</u>	North of US 90, south of Morton Road, east of FM 2855, and west of Bartlett Road
<u>Previous Approvals:</u>	N/A
<u>Description:</u>	The proposed Grange Clearing and Grubbing Phase 2 (Development) encompasses approximately 211.06 acres of clearing and grubbing to serve future single-family residential developments. The cleared areas drain to existing swales which drain to existing detention ponds. The ultimate drainage and detention for these cleared areas will be reviewed upon submission of the subdivision plan sets.
<u>Technical Review:</u>	Based on our review of the final drainage plans (plans), the permit application generally complies with the District's Rules and Regulations (R&R); we interpose no objection and recommend its approval by the District's Board of Supervisors.

Please note that this recommendation does not necessarily mean that the proposed design and all the calculations provided in the accompanying documentation have been completely checked and verified. Omissions in this review do not relieve the Development from complying with the District's R&R or any other regulatory requirements from a different entity having jurisdiction. Moreover, the plans submitted have been prepared, dated, signed, and sealed by a Professional Engineer. They are licensed to practice in the State of Texas, conveying these professional responsibilities and accountability.



Mr. Arnold England, President

April 24, 2025

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At this time, no deviation or variance requests from the District's R&R have been requested or granted. The proposed Development shall be constructed per the District's approved plans and in conformance with the District's R&R.

For the Applicant:

Please be advised that in an effort to comply with the District's policy to maintain zero net increase in stormwater runoff rates and to ensure that no adverse impacts are attributable to the proposed Development, all detention facilities (i.e., drainage infrastructure and outfall(s)) must be constructed and functional before beginning construction of any impervious improvements.

At least two business days prior to starting construction of the Detention Facilities and Drainage Infrastructure, the Developer's contractor shall notify the District's General Manager in writing. The Pre-Construction Notification form can be found on the District's website under Permit Application and Engineering Documents (<https://www.bkdd.dst.tx.us/page/BKDD.Home>).

The applicant shall not use this letter to commence any construction activities prior to receiving all **approved permits** from the governing entities with jurisdiction.

Please do not hesitate to call if you have any questions or need additional information.

Sincerely,

Michael McCarthy, PE

MHM/dme

<https://jonesandcarter.sharepoint.com/sites/BKDDTeamSite/Shared Documents/BKDD All Permits/R0002-1021-01.018 Grange Clearing and Grubbing Phase 2/2.0 - Letters/FDP Ltr - Grange Clearing & Grubbing Ph 2 042225.docx>

cc: Mr. Jacob Rice – Katy 2855 Development, LLC via email jacobr@johnsondev.com
 Mr. Jason Svatek, PE – BGE via email jsvatek@bgeinc.com
 Mr. Ross McCall, PE - Waller County Engineer via email engineering@wallercounty.us
 Mr. Andrew Johnson, III - Johnson Petrov, LLP via email bkddlegal@johnsonpetrov.com



2322 W Grand Parkway North, Suite 150
Katy, Texas 77449
Tel: 832.913.4000
www.quiddity.com

April 24, 2025

Mr. Arnold England, President
Brookshire-Katy Drainage District
PO Box 608
Brookshire, Texas 77423

Reference: Enclave Gassner Tract, LLC
La Segarra Section 2 - **Final Plat and Final Drainage Plans**
Application ID No. 00680 (FP) and 00681 (FDP)
Permit No. 2024-154
Quiddity Job No. R0002-1020-01.008

Dear Mr. England:

The Brookshire-Katy Drainage District (District) received a permit application as follows:

Applicant: Edminster, Hinshaw, Russ & Associates

Permit Type: Tract Development with Platting – Final Plat and Final Drainage Plans

Location: North of Gassner Lane, south of the future extension of Stockdick Road, east of Sport Flyers Lane, and west of Prairie Grass Road

Survey: H. & T. C. RR. Co. Survey Section 50, Abstract No. 288, Waller County, Texas

Previous Approvals: The District approved the Preliminary Plat for La Segarra Section 2, on September 23, 2024.

Description: The proposed La Segarra Section 2 (Development) encompasses approximately 35.05 acres of single-family residential development and includes 117 Lots, 4 Blocks, and 6 Reserves. The Development is located within the future La Segarra Phase 1 development.

The drainage for the site is conveyed through curb and gutter inlets, which connects to an underground public storm sewer system that outfalls into Phase 2 Detention Pond which will then outfall into Phase 1 Detention Pond, which will then outfall into the District's drainage easement to the east of the La Segarra development and future Neuman Road extension. Phase 2 Detention Pond was included in the construction plans titled, "La Segarra Phase 2 Detention" that was approved by the District under Permit No. 2024-145 on February 24, 2025. Additionally, the drainage impact assessment (DIA) for "Gassner Drainage Impact Analysis Tributary to Brookshire Creek" has been reviewed and accepted by the District on June 6, 2022. The drainage and detention components outlined in the plans for the Development are designed in accordance with the DIA.



QUIDDITY

Mr. Arnold England, President

April 24, 2025

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DFMA:

The referenced detention facilities are included in an executed Detention Facilities Maintenance Agreement (DFMA) with the District.

Technical Review:

Based on our review of the final plat and final drainage plans (plans), the permit application generally complies with the District's Rules and Regulations (R&R); we interpose no objection and recommend its approval by the District's Board of Supervisors.

Please note that this recommendation does not necessarily mean that the proposed design and all the calculations provided in the accompanying documentation have been completely checked and verified. Omissions in this review do not relieve the Development from complying with the District's R&R or any other regulatory requirements from a different entity having jurisdiction. Moreover, the plat and plans submitted have been prepared, dated, signed, and sealed by a Professional Land Surveyor and Professional Engineer, respectively, who are licensed to practice in the State of Texas, conveying these professional responsibilities and accountability.

At this time, no deviation or variance requests from the District's R&R have been requested or granted. The proposed Development shall be constructed per the District's approved plans and in conformance with the District's R&R.

For the Applicant:

Please be advised that in an effort to comply with the District's policy to maintain zero net increase in stormwater runoff rates and to ensure that no adverse impacts are attributable to the proposed Development, all detention facilities (i.e., drainage infrastructure and outfall(s)) must be constructed and functional before beginning construction of any impervious improvements.

At least two business days prior to starting construction of the Detention Facilities and Drainage Infrastructure, the Developer's contractor shall notify the District's General Manager in writing. The Pre-Construction Notification form can be found on the District's website under Permit Application and Engineering Documents (<https://www.bkdd.dst.tx.us/page/BKDD.Home>).



Mr. Arnold England, President
April 24, 2025
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The applicant shall not use this letter to commence any construction activities prior to receiving all **approved permits** from the governing entities with jurisdiction.

Please do not hesitate to call if you have any questions or need additional information.

Sincerely,

Michael H. McCarthy, PE

MHM/dme

[https://jonesandcarter.sharepoint.com/sites/BKDDTeamSite/Shared Documents/BKDD All Permits/R0002-1020-01.008 La Segarra Section 2/3.0 - LETTERS/FP & FDP Ltr - La Segarra Section 2 042425.docx](https://jonesandcarter.sharepoint.com/sites/BKDDTeamSite/Shared%20Documents/BKDD%20All%20Permits/R0002-1020-01.008%20La%20Segarra%20Section%202/3.0%20LETTERS/FP%20&%20FDP%20Ltr%20-%20La%20Segarra%20Section%202%20042425.docx)

CC: Mr. Alex Kamkar – Enclave Gassner Tract, LLC via email adkamkar@boldfoxdevelopment.com
Ms. Kaitlin Gile – Edminster, Hinshaw, Russ & Associates via email kgile@ehra.team
Mr. Luis Sanabria, PE – Edminster, Hinshaw, Russ & Associates via email lsanabria@ehra.team
Mr. Ross McCall, PE – Waller County Engineer via email engineering@wallercounty.us
Mr. Andrew Johnson, III – Johnson Petrov, LLP via email bkddlegal@johnsonpetrov.com



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www.quiddity.com

April 25, 2025

Mr. Arnold England, President
Brookshire-Katy Drainage District
PO Box 608
Brookshire, Texas 77423

Reference: M H Sunterra Holdings LLC
Sunterra North Commercial Development - **Final Plat and Final Drainage Plans**
Application ID No. 00790 (FP) and 00793 (FDP)
Permit No. 2025-03
Quiddity Job No. R0002-1019-01.055

Dear Mr. England:

The Brookshire-Katy Drainage District (District) received a permit application as follows:

Applicant: Windrose Land Services and ALJ Lindsey

Permit Type: Tract Development with Platting – Final Plat and Final Drainage Plans

Location: North of Stockdick Road, south of Tantara Bend, east of Bartlett Road, and west of Pitts Road

Survey: H. & T. C. RR. Survey No. 129, Abstract No. 204, Waller County, Texas

Previous Approvals: The District approved the Preliminary Plat for Sunterra North Commercial Development on January 13, 2025.

Description: The proposed Sunterra North Commercial Development (Development) encompasses approximately 3.365 acres of commercial development and includes 0 Lots, 1 Block, and 2 Reserves. The Development is located within the Sunterra development.

The Development includes the construction of paving, drainage, and utility improvements to serve two commercial buildings.

The drainage from the site is conveyed through a proposed underground private storm sewer system. The private storm sewer will tie to the existing storm sewer system located to the east of the Development and within the "Sunterra Shopping Center Infrastructure Improvements" development (Application ID: 24-00080) that was approved by the Board on February 26, 2024. Flow is directed north into the existing Tantara Bend Drive public storm sewer system. The public storm sewer and paving within Tantara Bend Drive was included in the plans titled "Tantara Bend Drive Street Dedication and Reserves" and approved under Permit No. 2022-17 on September 12, 2022. The flow from Tantara Bend



Mr. Arnold England, President

April 25, 2025

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Drive will continue north and outfall directly into Detention Pond P, which then outfalls to Detention Pond O, which outfalls to Detention Pond N. The construction of the Detention Ponds P, O, and N were included in the "Sunterra Mass Grading and Detention Phase IIB" plans and approved under Permit No. 2021-34 on September 13, 2021. Detention Pond N outfalls into the Phase IB Detention Pond, which then outfalls into the Cane Island Branch of Buffalo Bayou. The construction of the Phase IB Detention Pond was included in the plans titled "Sunterra Phase IB Mass Grading and Detention," which was approved under Permit No. 2020-90 on April 26, 2021.

DFMA:

The referenced detention facilities are included in an executed Detention Facilities Maintenance Agreement (DFMA) with the District.

Technical Review:

Based on our review of the final plat and final drainage plans (plans), the permit application generally complies with the District's Rules and Regulations (R&R); we interpose no objection and recommend its approval by the District's Board of Supervisors.

Please note that this recommendation does not necessarily mean that the proposed design and all the calculations provided in the accompanying documentation have been completely checked and verified. Omissions in this review do not relieve the Development from complying with the District's R&R or any other regulatory requirements from a different entity having jurisdiction. Moreover, the plat and plans submitted have been prepared, dated, signed, and sealed by a Professional Land Surveyor and Professional Engineer, respectively, who are licensed to practice in the State of Texas, conveying these professional responsibilities and accountability.

At this time, no deviation or variance requests from the District's R&R have been requested or granted. The proposed Development shall be constructed per the District's approved plans and in conformance with the District's R&R.

For the Applicant:

Please be advised that in an effort to comply with the District's policy to maintain zero net increase in stormwater runoff rates and to ensure that no adverse impacts are attributable to the proposed Development, all detention facilities (i.e., drainage infrastructure and outfall(s)) must be constructed and functional before beginning construction of any impervious improvements.

At least two business days prior to starting construction of the Detention Facilities and Drainage Infrastructure, the Developer's contractor shall notify the District's General Manager in writing. The Pre-Construction Notification form can be found on the District's website under Permit Application and Engineering Documents (<https://www.bkdd.dst.tx.us/page/BKDD.Home>).



Mr. Arnold England, President

April 25, 2025

Page 3

The applicant shall not use this letter to commence any construction activities prior to receiving all **approved permits** from the governing entities with jurisdiction.

Please do not hesitate to call if you have any questions or need additional information.

Sincerely,

Michael H. McCarthy, PE

MHM/dme

<https://jonesandcarter.sharepoint.com/sites/BKDDTeamSite/Shared Documents/BKDD All Permits/R0002-1019-01.055 - Sunterra North Commercial Development/2.0 - Letters/FP & FDP Ltr - Sunterra North Commercial Development 042525.docx>

cc: Mr. Chris Merchant – M H Sunterra Holdings LLC via email Chris@NobleMerchantProperties.com
Windrose Land Services Platting Team via email plattingteam@windroseservices.com
Mr. Brett Hanrahan, PE – ALJ Lindsey via email bhanrahan@aljindsey.com
Mr. Mateus Calix – ALJ Lindsey via email mcalix@aljindsey.com
Mr. Ross McCall, PE – Waller County Engineer via email engineering@wallercounty.us
Mr. Andrew Johnson, III – Johnson Petrov, LLP via email bkddlegal@johnsonpetrov.com



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April 22, 2025

Mr. Arnold England, President
Brookshire-Katy Drainage District
PO Box 608
Brookshire, Texas 77423

Reference: Urban Twinwood II, LP
Second Replat of Twinwood Commerce Center – **Preliminary Plat and Preliminary Drainage Plans**
Application ID No. 00915
Permit No. – N/A
Quiddity Job No. R0002-1003-23.007

Dear Mr. England:

The Brookshire-Katy Drainage District (District) received a permit application as follows:

Applicant: LJA Engineering, Inc.

Permit Type: Tract Development with Platting – Preliminary Plat and Preliminary Drainage Plan

Location: South of Twinwood Parkway, north of Discovery Hills Parkway, east of FM 359, and west of Woods Road

Survey: Nathan Brookshire League, Abstract No. 16, Waller County, Texas

Technical Review: Based on our review of the Preliminary Plat of the Second Replat of Twinwood Commerce Center, the permit application generally complies with the District's Rules and Regulations; we interpose no objection and recommend its acceptance by the District's Board of Supervisors.

It is to be understood that the **acceptance of the Preliminary Plat** by the District's Board of Supervisors does not constitute official acceptance of the proposed development by the District but does constitute an authorization to begin and proceed with the preparation of the Final Drainage Plans and Final Plat.

The applicant shall not use this Preliminary approval to commence any construction activities until the Final Drainage Plans and Final Plat have been **approved and accepted** in official actions by the District and from any governing entity with jurisdiction.

For the Applicant: The applicant's next step is to submit **two** separate applications: **one for the Final Plat**, outlining the development's layout and design, and **another for the Final Drainage Plans**, including construction plans and drainage calculations. Both applications should include all necessary engineering information and documents for a thorough and comprehensive review.



Mr. Arnold England, President

April 22, 2025

Page 2

DFMA: If proposing detention facilities, the proposed development will require a Detention Facilities Maintenance Agreement (DFMA) with the District. The submittal of the DFMA shall include all required information/documents for review and coordination with the District's Legal Counsel.

Please do not hesitate to call if you have any questions or need additional information.

Sincerely,

Michael H. McCarthy, PE

MHM/dme

<https://jonesandcarter.sharepoint.com/sites/BKDDTeamSite/Shared Documents/BKDD All Permits/R0002-1003-23.007 Second Replat of Twinwood Commerce Center/2.0 - Letters/PP & PDP Ltr Second Replat of Twinwood Commerce Ctr 042225.docx>

cc: Mr. Mark Overton – Urban Twinwood II, LP via email moverton@urbancompanies.com
Ms. Naomi McAninch – LJA Engineering, Inc. via email nmcaninch@lja.com
Mr. Ross McCall, PE - Waller County Engineer via email engineering@wallercounty.us
Mr. Andrew Johnson, III - Johnson Petrov, LLP via email bkddlegal@johnsonpetrov.com



TBPE No. F-726
TBPLS No. 10092300

EXTENSION REQUEST LETTER

DATE: April 23, 2025

TO: Brookshire-Katy Drainage District
1111 Kenney St
Brookshire, TX 77423
PH: 281.375.5430

FROM: EHRA/Michael Turzillo
Planner II

RE: **EXTENSION REQUEST LETTER – Lakes of Cane Island Recreation Reserve
Preliminary Plat**

Recommendation/ Reason(s) if not approved:



Date: 4/28/2025

Application No.: 00634

BKDD President

BKDD District Engineer

- ☐ Approved as submitted
- ☒ Approved as Noted
- ☐ Not Approved for Reason(s) Stated
- ☐ Not Applicable

Comment/Conditions:

The new permit expiration date is 10/25/25.

SUMMARY OF EXTENSION NEED:

The preliminary plat for Lakes of Cane Island Recreation Reserve was approved on 10/28/2024. We are submitting a request for an extension of this approval. The delay in submitting the final plat is due to the sequencing of the final plat and engineering construction plans. The preliminary plats were submitted before our engineering team was ready to begin construction plan development.

REQUESTED EXTENSION PERIOD:

Considering, our preliminary plat expires on 4/28/2025. We respectfully request an extension for an additional 180 days.

Sincerely,

Michael Turzillo
Planner II
EHRA